Chairman ROBERT OLIVER

City Attorney NICK SAMPINOS

Community Director NICK TATTON

City Recorder SHERRIE GORDON



Commission

JUDY BEACCO
NANCY BENTLEY
DALE EVANS
ROBERT OLIVER
RICHARD ROOT
FRANKIE SACCO
JAN YOUNG
ERROLL HOLT, ALT.
TODD THORNE, ALT.

PRICE CITY PLANNING COMMISSION

phone: (435) 636-3184 · Fax: (435) 637-2905 185 E. Main - P.O. Box 893 Price Utah 84501

PLANNING AND ZONING AGENDA 09/26/2016

THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD THEIR REGULARLY SCHEDULED MEETING ON THE ABOVE DATE AT 6:00 PM IN THE PRICE CITY HALL COUNCIL CHAMBERS (ROOM 104). THE PLANNING AND ZONING COMMISSION CHAIRMAN RESERVES THE RIGHT TO MODIFY THE SEQUENCE OF AGENDA ITEMS IN ORDER TO FACILITATE SPECIAL NEEDS.

- 1. PLEDGE OF ALLEGIANCE
- 2. ROLL CALL
- 3. MINUTES of September 12, 2016
- 4. PUBLIC COMMENT ON AGENDA ITEMS
- 5. CONDITIONAL USE PERMIT
 - a. SITE PLAN AMENDMENT Consideration and possible approval of a site plan amendment to locate the 7th District Judicial Court building at 120 East Main Street within the Commercial 1 zoning district, Seth Oveson, Carbon County.
 - b. BUSINESS OCCUPANCY Consideration and possible approval of a business occupancy conditional use permit for America Supports One, LLC., to locate a day programming administration business for disabled adults at 214 E 100 N within the Commercial 1 zoning district, Sarah Norton.
 - c. SODA DRIVE UP BUSINESS Consideration and possible approval of a soda drive up business called Sodalicious, located at 97 E 100 N within the Commercial 1 zoning district, Chad Carlson.
- 6. UNFINISHED BUSINESS

"DRAFT"

PRICE CITY PLANNING AND ZONING MEETING MINUTES OF SEPTEMBER 12, 2016

	MINUTES OF SEPTEMBER 12, 2016
PRESI	ENT: issioners:
Dale E Judy B	ung Chorne Oliver vans
EXCU Comm	SED: Commissioner Bentley, Commissioner Evans, Commissioner Root, Commissioner Holt-Alternate, and Nick Tatton- unity Director CRS PRESENT: Sheremy McEvoy and Jerica Curtis
1.	Chairman Oliver called the meeting to order at 6:00 P.M. He led the Pledge of Allegiance.
2.	Roll was called with the above Commissioners and staff present.

- 3. MINUTES OF August 22, 2016
 - <u>MOTION</u>. Commissioner Thorne moved to approve the minutes of August 22, 2016 as presented. Motion seconded by Commissioner Young and carried.
- 4. PUBLIC COMMENT ON AGENDA ITEMS –

Jerrica Curtis, owner of Chug Drive Thru, addressed the Commissioners. She expressed her concern that another soda shop was coming into Price. She is a local citizen and runs a local business which depends on local support. Sodalicious is a franchise and is coming into town from up north. She asked why a franchise was allowed to move into Price City when a local business already existed. She doesn't feel like there is enough business to support two soda shops. She is trying to protect her business and is concerned if this franchise is allowed to locate in Price.

5. CONDITIONAL USE PERMIT

a. SODA DRIVE UP BUSINESS - Consideration and possible approval of a soda drive up business called Sodalicious, located at $97 \to 100 \text{ N}$ within the Commercial 1 zoning district, Chad Carlson.

Due to Mr. Carlson's absence to represent the agenda item, Item 5 was recommended to be tabled until such time as Mr. Carlson is able to be present to represent the application. Chairman Oliver also noted that staff has informed him that the Conditional Use Permit fee had not been paid and an application for a business license had not been submitted nor the business license fee paid.

<u>MOTION</u>. Commissioner Sacco moved to table Item 5 until the September 26, 2016 meeting or until such time as Mr. Carlson is able to be present to represent the application. Motion seconded by Commissioner Beacco and carried.

6. UNFINISHED BUSINESS – No unfinished business discussed.

Meeting adjourned at 6:05 p.m. pursuant to a motion by Comand carried.	missioner Beacco. Motion seconded by Commissioner Thorne
APPROVED:	ATTEST:
Chairman Robert Oliver	City Recorder, Sherrie Gordon

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1 66			



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one. New Business (Complete New Construction/Develor Plan Phase: Concept Preliminary Final						oplication)	
PLEASE TYPE OR PRINT LE	GIBLY.						
		Applicant I	Information				
Applicant's Name: Seth Oveson				2. Title		lerk / Au	ditor
 Applicant's Mailing Address 751 East 100 Nor 	ess: th					te/Apt. No.: <mark>Suite 270</mark> 0)
5. City: Price		6. State:			7. Zip	Code: 84501	
8. County: Carbon Cour	ity		9. Telepho	one: (<mark>4</mark>	35) 636	5-3226	
		Project In	formation				
10. Name of Project (Busin Carbon County 7th	ess): District Co	ourt					
11. Address of Proposed P 120 East Main Str							
12. Zone District (see attac	hed zoning n	пар): <mark>С1</mark>					
Nature of P	roposed Wo	ork (Check all ap	oplicable ite	ms in b	oxes 13	through 16)	
13. ☐ Sign ☑ Commercial ☐ Residential	☐ Street \	Orainage	15. Excava Fill Wo Buildin Subdiv Apartm Electric	rk g rision nents		16. Industr Annexa Flood F Recrea Street	ation Plain ation Opening
17. Quarter Section(s):	18. Section	n(s):	19. Towns	ship(s):		20. Range	(s) & Base:
21. Estimated Cost of Proje	ct: 22	2. Electrical Loa	d Sheet:		23. Proj	ect Plans:	
a) Site Work b) Buildings c) Other Total \$ 300,0 \$ 11,900,0 \$ 12,200,0	000 a _l	Attach preliminary oplication)	y and final t	0	✓ Plan	s Included chments (Nu	mber)

24. Brief Description of Project:		
Demolition of an existing buildi	ng to make way for new district of	court building. Construction of
new 2-story courthouse with a	basement and sally port.	
25. Justification (Explain why this pro	eject is needed):	
Building to replace a facility that	at no longer meets the requireme	ents of the Utah State Courts,
both in security and functionali	ty.	
26. Names and Addresses of Adjoini	ng Property Owners, Lessees, Etc.:	
NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. State Courts	167 East 100 South	(435) 636-3400
=	Price, UT 84501	
2. Wells Fargo	180 East Main Street	(435) 637-4522
2 Carban Caunty	Price, UT 84501	
Carbon County Transportation	65 South 100 East	(435) 636-3263
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Price, UT 84501	
27. Estimated Starting Date: 10 / 27 / 2016	28. Estimated Completion Date: 3 / 31 / 2018	29. Has P.R.W.I.D. Sewer Survey Been Submitted? ✓ Yes ☐ No
Tolk From	8-24-20/6	<u>, </u>
Signature of Property Owner	Date Clark-And. Y	,
Please Print Name	Clark-Hnd, Y	or
Flease Fillit Name	Title	
	Office Use Only ing Administrator (Community Director):	
Approve Decline		
Comments:	- land use eval. Crite	na
11.3.10.2.	2 - Exec., legislation, leg 1	functions = C
W A 1 0 1	spection of Building	
Signature: 45Tmb	Dat	e: 8.24-16
Requires: Building Permit - Ivcal rew Conditional Use Permit Code Amendment Board of Adjustments Variance Flood Plain Development Permit Other:		

SITE PLAN

Please provide a drawing of your	proposed site in the space below	 Include building floor p 	olan, profiles, cross-sections,
dimensions, setbacks, and signs.	Also indicate exits, restrooms, an	d fire extinguisher placer	nent. Use an attached sheet
of paper, if necessary.			

Commercial / Industrial Customer Information Sheet

Please complete this form and return to Ken Harney - Price City Utilities 185 East Main Street · P.O. Box 893 · Price, Utah 84501 · Phone No. (435)636-3166 · Fax No. (435)637-2905

	Business Informa	tion
Name of Customer's Business: Carbo	on County 7th District Court Add	ress: 120 East Main Street, Price, UT 84501
Request No:	Phone No:	Fax No:
Person responsible for advance and	d contract billing (if different th	nan monthly billing customers):
Name:	Add	ress:
Phone No:	Fax No:	E-Mail Address:
Building Square Footage (Note: bred	akdown into use i.e.: office, wareh	ouse): 32,000 sf
House of Operation (include days &	hours): M-F 8:00am - 5:00pm;	S-Su Closed

	Service Descrip	tion		
Desired Secondary Voltage:	√3 Phase 120 / 208v	3 Phase 277 / 480v		
Note: Not all voltages may be available	□ 1 Phase 120 / 240v	☐ 1 Phase 120v only	Other	
Panel Size (in amps): 2000				
Nearest Pole or Equipment Number:	T	ype of Service Desired:	Overhead	✓ Underground
Electrical Contractor: To Be Determined		Phone No:		

Load List (attach additional sheets if necessary)

Description	Phase and Voltage	New Load to be Added	Load to be Removed	Total Connected Load after Changes	Unit
HVAC	208/3	120		120	Tons
Exhaust Fans	120/1	2		2	HP
Electric Heat	120/208/3	5		5	kW
Water Heating	120/1	3		3	kW
Lighting	120/1	42		42	kW
Outlets	120/1	30		30	kW
Office Equipment	120/1	10		10	kW
Kitchen Equipment					kW
Refrigeration Equipment					Tons
Computers, Magnetic Power Supplies	120/1	60		60	kW
Machinery					kW
Thermoplastic Injection Equipment					kW
Elevators	208/3	36		36	kW
Boiler	208/3	12		12	kW
Snow Melting					kW
Signs					kW
X-Ray Equipment					kW
Washer/Dryer					kW
Gas/Fuel/Sump Pump					HP
Small Motors	120/208/3	10		10	HP
Air Compressor					HP
Miscellaneous	120/1	36		36	kW
Heat Exchanger					kW
Humidifier					kW
Swimming Pool					HP
Largest Motor (not included above)	208/3	3		3	HP
Future					kW
Totals (convert to kW)				678	kW

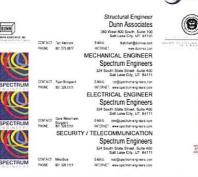
Ιt	is	important	to	provide	the most	accurate	information	available.
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(Customer Signature)

(Date)

You may wish to consult a trained professional (electrician, engineer, etc.) prior to providing the information to your estimator.
 Commercial metering can have many restrictions that should be discussed with the estimator prior to the purchase and installation of your metering equipment. There are also restrictions regarding master metering.
 Motors larger than 35hp three phase or 5hp single phase will require approval by our engineering department prior to installation in order to determine the acceptable starting current.







State of Utah Administrative Office of the Courts

Carbon County Courthouse

120 East Main Street Price, Utah 84501

Nexus Project #: 15176

DFCM Project #: 15346150

2 AUGUST 2016

CD PROGRESS SET



State of Utah Administrative Office of the Courts Carbon County Courthouse

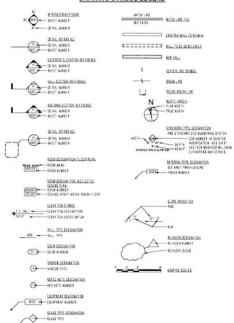


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APPROVALS

Seth Overson Carther County	Sale	Ayr Lucidad State of Utah Administrative Office of the Courts	Date
Shan Sales Sale of Utah Department of Facilities Communition & Management	Date	-	Cate

DESIGN CRITERIA

APPLICABLE CODES	
ACCESSIBILITY CODE	ICC/ANEI A117 1-2010
INTERNATIONAL BUILDING CODE	2015 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE	2015 EDITION
INTERNATIONAL FIRE CODE	2015 EDITION
INTERNATIONAL MECHANICAL GODE	2015 EDITION
INTERNATIONAL PLUMBING DODE	2015 EDITION
NATIONAL ELECTRICAL CODE	2014 EDITION
ZONING ORDINANCE PRICE CITY	CURRENT EDITION

R CRITE	DESIGN STAN	ARYS	
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ADDITIONAL REQUIREMENTS

REQUIRED DOCUMENTS FOR CERTIFICATE OF OCCUPANCY OR FINAL APPROVAL

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- SECTION THE FRAIL REPORT FROM THE SPECIAL INSPECTOR AND MECHANICAL ENGINEER WHEN SMOKE CONTROL IS REQUIRED (REPORTS WAST COMPLY WITH INTERNATIONAL BULDING COOL SECTION AND IT ALS)



State of Utah Administrative Office of the Courts

Carbon County Courthouse
Tab East Main Street
Prec., Usin 84501

of Oak Homes

CD **PROGRESS** SET

NEA/S PROJECT # 15176 CHECKED BY SWS DOWN BY SWS DATE 2 AUGUST 2016

GENERAL INFORMATION

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			rendorcement are placed somethe: that lag lengths, steader and officets are provided; and that all
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			and ten 80 lbt 5.11 to the artests temperature
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			one slenges what conform to ASTM & 170 while group
			that be provided for the following reinforcement:
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			verify that morter is of the cope and cour specified as the concretion documents that is contained to ACR C 270, and that is masted as accordance and Actide 2 6.8 of 255-00/AC 550 1-11 points that morter specified with white 3.8 at all
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scenin of reinforcement,	Commun	12 Periode	being that more young comply with World 3.3 e of 19th 612(AC) 593.3 11 being that newfortment is placed to accordance with feature 3 e of 19th-682(AC) 540.3-13.
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argment of remhargement, principles, and are through	- terendor	, result	ties, anchor both and server homes we noticed in
			accordance with the approved continuation. Societies and Articles 3.2 C. 3.4, and 3.6.4 of This
			662/342 537 L.11. Commons imports on required for this Company of Buildings
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ITEMS SGES CONSTRUCTION URC 1705.6) Item. Verify subgrape is adequate to active strong organity. Considered strong expensity. Verify encounted by Construction of C Continuous (7) Fanode | Four to placement of campucted III. [5] Perioda — An muturup, pludible chiesaed at each classifications and gradeous not us com \$2,000° of portion area. EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) (IBC 1705.15) Mornal and resultance ARCHITECTURAL COMPONENTS (IIC 1705.11.5 & 1705.11.7) — DRS required for Eurologic locating acides Source (except Cologony O. E. ex-Commune SS from the Verify approximations and impactions with impaction of the Verify approximations (approximation of the Verify approximations) represent of a very set Sele for usally means backet leaver auggoth for electrical factories, while traps and rights factories supports for planeturing inter-including 80s, within and sincers and screenwallian factories are for mechanical units both on sight and incorporated units both on sight and incorporated. Continues D Ferrody Tomme & feet Cowrete Walt

Updated hily 22, 2013

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NON STRUCTURAL COMPONENT CHECKLIST

TEM DESCRIPTION	NOT REQUIRED	DN CONST. DOCUMENTS	DEPENDED SUBWITAL	COMPANY
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DEFERRED SUBMITTALS LIST	
DESCRIPTION	ESTIMATED BATE OF SUBMITTA (AFTER AWARD DATE)
CANTILEVER ELENENTS	129 DAYS
SUSPENDED CELLING SYSTEMS	38 DAYS
MILLBORK & CABINETS	90 GAYS
ACCESS FLOORING	98 CAYS
SUSPENCED CEILING CLOUDS	98 CAYS
OPEN NEB STEEL JOISTS	69 DAYS
FIRE SPRINKLERS	120 DAYS
FIRE AL ARMS	120 DAYS
SEISMIC CONNECTIONS & RESTRAINTS FOR THE FOLLOWING	
VIBRATION ISCLATED COMPONENTS	180 DAYS
 MECHANICAL & ELECTRICAL PIPING AND CODUIT SYSTEMS 	180 DAYS
 BUCTRORK (INCLUDING IN-LINE COMPONENTS) 	160 DAYS
6. CABLE TRAYS	180 DAYS
# FREEST ANDING REFRIGERATION EQUIPMENT	180 DAYS
EVALUATION REPORTS FICE OR EQUIVALENT, FOR THE FOLLOWING	
4. FIRE RATED ASSEMBLIES	99 DAYS
b. FIRE RATED MATERIALS USED FOR PENETRATION THROUGH FIRE WALLS	90 DAYS
C. EXTERIOR METAL WALL PANELS	90 DAYS
e. RIGIO BISULATION	90 0415
I. AIR BARRIERS	90 DAYS



State of Utah Administrative Office of the Courts

Carbon County Courthouse
120 East Main Street
Proc. Utah 8501

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PROGRESS NEALS PROJECT # 161% CHECKLO BY 345 DRAWN BY A 200 DATE 2 RAGUET 2016

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Carbon County Courthouse
120 East Main Street
Price, Utah 84501

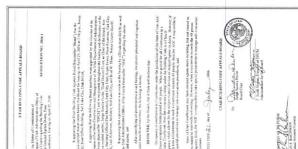
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Rumbed Occupant Room	IBC 2015 - GENERAL CODE REQUIREMENTS NEW CONSTRUCTION	DE RE	DUIRE	VENTS	
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18	CONSTRUCTION CLASSIFICATION		E =	3613	
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ñ z	BEARING SALLS, INTRIDS		1	NA VA	
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State of Utah Administrative Office of the Courts
Carbon County Courthouse
120 East Main Street
Price, Usah Buson

LEGEND - LIFE SAFETY

SECONDARIATES

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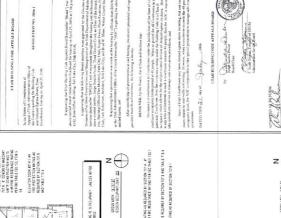
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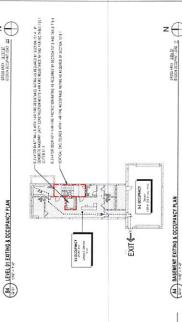
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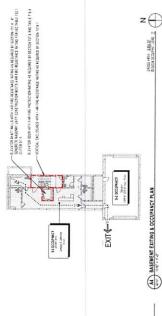


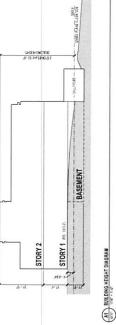
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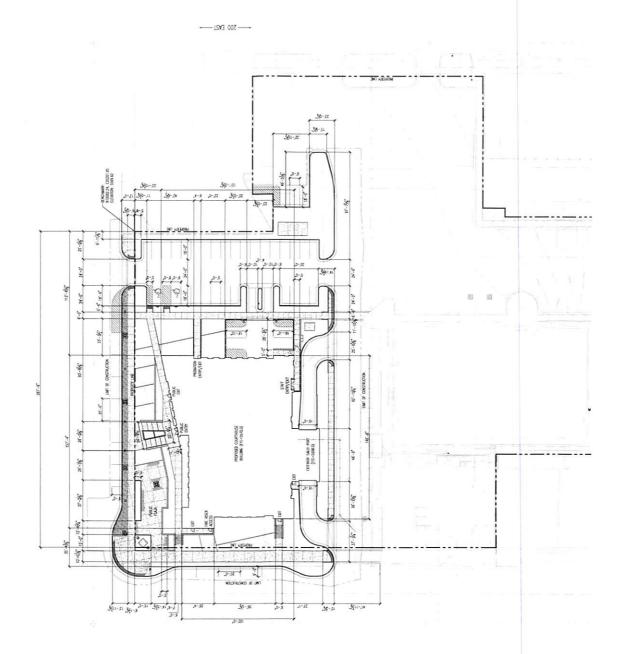


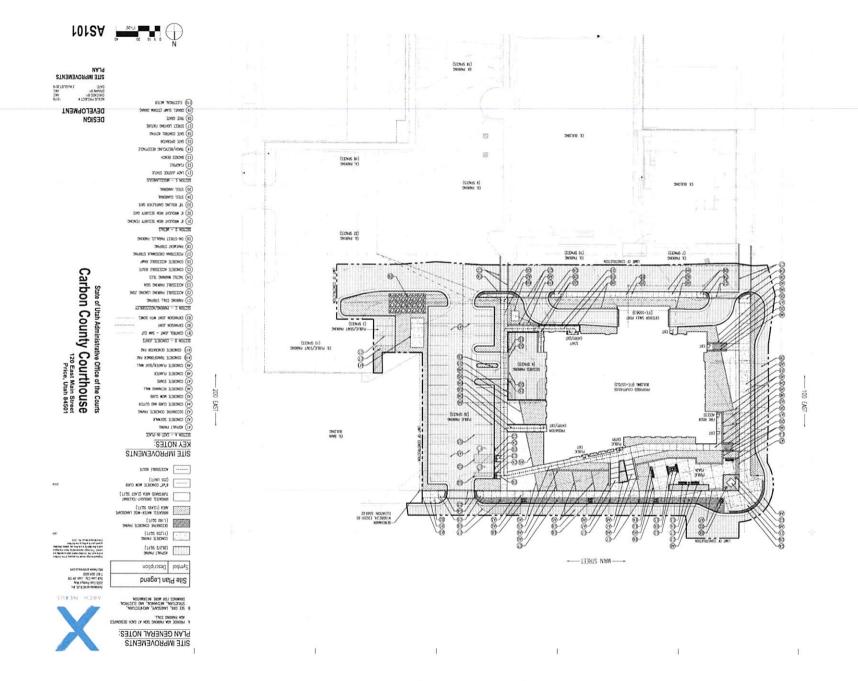


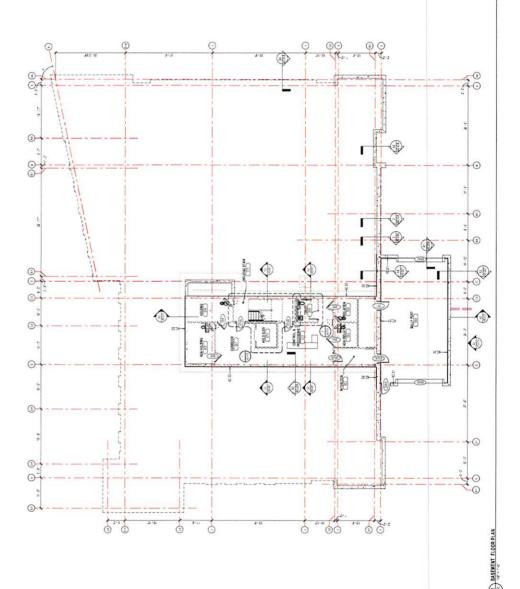
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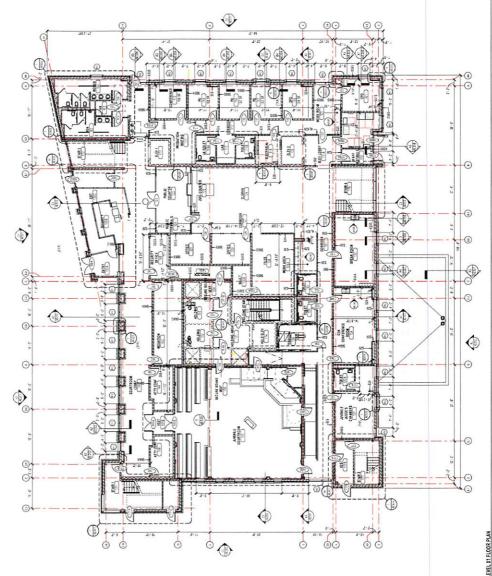






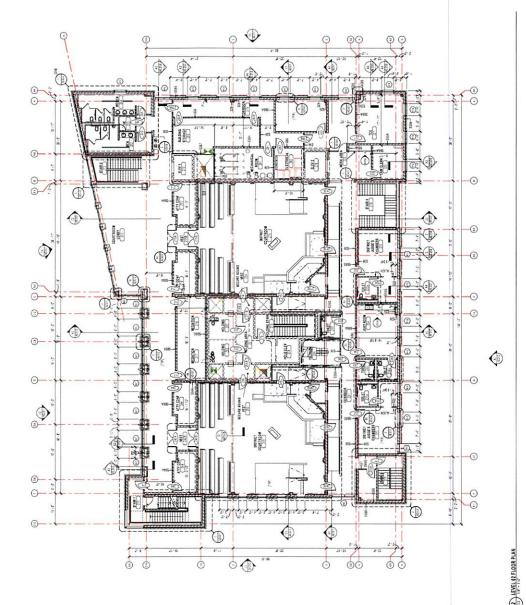




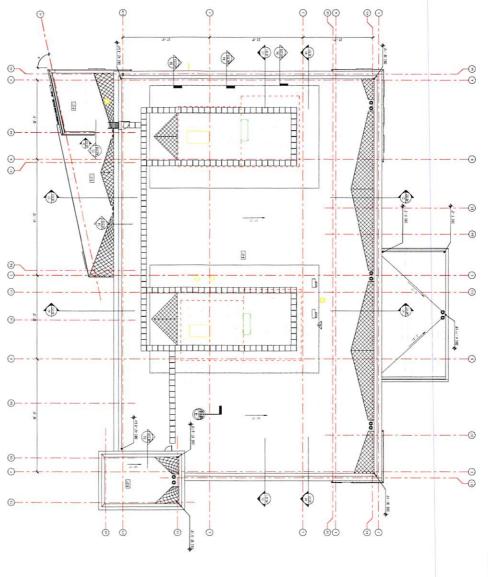


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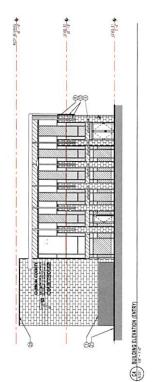
State of Utah Administrative Office of the Courts Carbon County Courthouse 120 East Main Street Price, Usah Buson

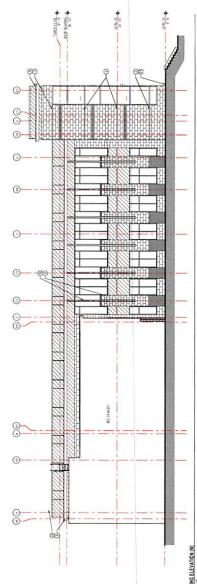
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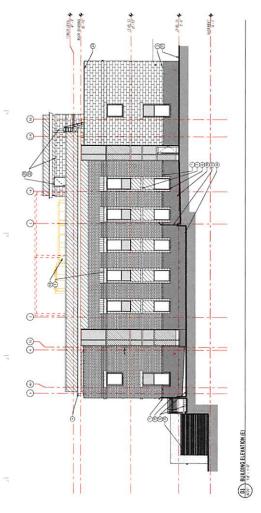
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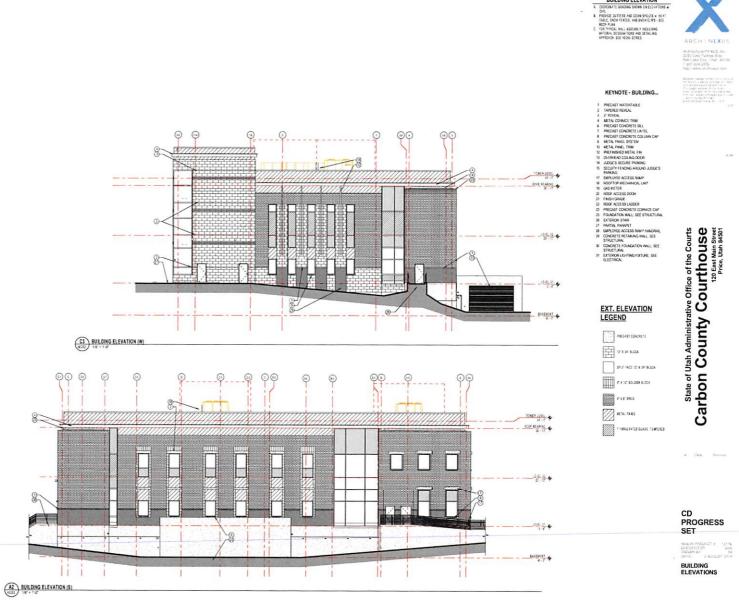












AE202

GENERAL NOTES BUILDING ELEVATION Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director

MILES NELSON



185 EAST MAIN ● P.O. BOX 893 ● PRICE, UT 84501 PHONE (435) 637-5010 ● FAX (435) 637-2905 www.pricecityutah.com

Price City Planning & Zoning Commission

Planning & Zoning Commissioners

ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT

JAN YOUNG
ALTERNATE: ERROLL HOLD
ALTERNATE: TODD THORNE

DATE: SEPTEMBER 2ND, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON

PRICE CITY

RE: NEW DISTRICT COURT BUILDING – FINAL APPROVAL

Please find attached an Conditional Use Permit (CUP) application and the final site plan submitted by Carbon County to locate an office building with government services land use, at 120 East Main Street within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria is listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code, the land use is Executive, Legislative and Judicial Functions, Code Section 11.3.10.2.2, a conditional use.

It is the recommendation of staff to review the site plan with the applicant in detail including the site plan elements from the checklist. It is advisable to also question the application regarding the (re)installation of public infrastructure around the development as well as the building plan review and inspection requirements.

RECOMMENDED MOTION(S):

- 1. Move to recommend final approval for Carbon County to locate an office building for Executive, Legislative and Judicial Functions at 120 East Main Street within the Commercial 1 (C-1) zoning district based upon the general land use evaluation criteria listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code the conditional land uses of Executive, Legislative and Judicial Functions, Code Section 11.3.10.2.2, and subject to the following conditions of approval:
 - a. Site Plan
 - i. Installation of exterior area and parking lot lighting per the lighting plan. All exterior lighting to be high efficiency LED fixtures only.
 - ii. Fencing to be installed as indicated:
 - 1. (Re)Install as needed a six foot (6') sight obscuring fencing surrounding bank to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: Main Street and 200 East.

- 2. (Re)Install as needed a six foot (6') sight obscuring fencing surrounding residential structures and properties to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: 200 East and 100 South.
- iii. Main Street east ingress/egress to be a minimum of thirty-feet (30') in width finding that wider ingress/egress at the location may mitigate vehicle and pedestrian conflicts.
- iv. 100 East ingress/egress to be a minimum of thirty-feet (30') in width and signage posted to direct secure and non-secure access to the sally-port.
- v. Installation of a minimum of five percent (5%) landscaping compliant with the Code finding that landscaped developments improve the community aesthetic.
 - 1. Minimum of eighty-five percent (85%) landscaping to be drought tolerant and water-wise.
 - 2. Backflow prevention installed and inspected by Price City Water Department prior to use or operation of irrigation system.
 - 3. Plantings, lighting and concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north (town square improvements).
- vi. Off-street parking to be a minimum of one-hundred twenty-eight (128) spaces for the overall site finding that adequate off-street parking mitigates congestion on roadways surrounding the development.
 - 1. 38,344 net usable square feet / $300 = 127.81 \rightarrow 128$ spaces.
 - 2. Shared parking with adjoining uses permitted.
 - 3. On-street parking to be striped angle parking consistent with size and angles in Chapter 6 of the Code.
- vii. Garbage dumpster to be located within an enclosure with sight obscuring gate inserts to prevent unauthorized access including a service frequency to mitigate wind scatter of garbage, rubbish or debris and nuisance accumulations or odors.
 - 1. No hazardous or other restricted materials or items to be disposed of in garbage dumpster.
- viii. Fire Department Red Zones and access to be coordinated with the Price City Fire Chief finding that compliant and functional fire access and infrastructure protect the health, safety and welfare of the public.
 - 1. Includes access points, fire department connections, fire risers, onsite hydrant placement, hydrant minimum flow, supply line sizing.
 - ix. Building signage and way-finding signage to only be installed upon completion of submission of final signage plan, review and authorization by the Price City Planning Department.
 - 1. Signage to include numeric address and street locater.
 - 2. Monument sign, per Section 4.13.1.1.a of the Code, not to exceed forty-five square feet in size as indicated.
- b. Water, sewer and electric utility connections to be coordinated and installed under the direction of the Price City water/sewer department and Price City electric department finding that properly coordinated utility connections provide long-term service to development.
 - a. Electrical load sheet to be submitted to the Price City electric department in advance of connection request.

b. Provide to Price City all necessary utility easements for access to all installed public utilities, including fire department access, if applicable.

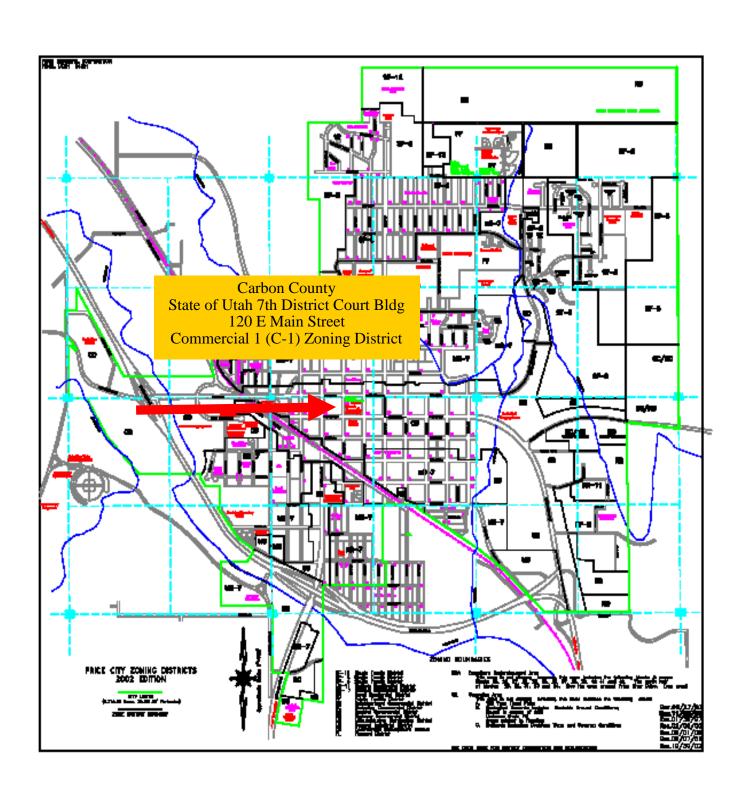
c. Existing Structures:

- a. Existing 7th District Court Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses and occupancies may require additional review and permitting.
- b. Existing Carbon County P&Z Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses and occupancies may require additional review and permitting.
 - i. No parking or storage of commercial, industrial, construction vehicles and equipment.

d. Plans, Licenses, Permits and Documents:

- i. Completion of a geotechnical study by a qualified geotechnical engineer and submission of the study to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the study.
- ii. Completion of a storm water management plan and submission of the plan to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the plan.
 - 1. Plan to address a 100 year storm event and mitigate any storm water runoff impact on neighboring and surrounding property.
 - 2. All storm water runoff must not flow to neighboring properties and must be fully mitigated.
- iii. Completion of a Public Infrastructure Development Agreement and submission of the required financial surety, if required, to the Price City Public Works Department.
 - 1. All public infrastructure to be (re)installed/replaced surrounding the development site meeting Price City Minimum Standards and coordinated with the Price City Engineer. Plantings, lighting and concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north (town square improvements), as indicated above in landscaping requirements section.
 - 2. "Decorative Bump-Outs" at curb line into roadway restricted.
- iv. Completion of a Private Utility Agreement, if required, to the Price City Public Works Department.
- v. Complete a Price River Water Improvement District (PRWID) Waste Water Survey and submit to PRWID, copy to Price City, and compliance with all directed waste water system protection recommendations stemming from the survey including grease traps and sampling manholes provided by PRWID or Price City.
- vi. Submission of construction plans to Price City and procurement of a Price City building permit prior to commencement of construction finding that properly licensed, permitted and inspected commercial development protects the health, safety and welfare of the community.
 - 1. Construction plans to be reviewed for compliance with the IBC 2015 and all construction consistent with that review and any plan amendments stemming from the review.

- 2. Inspection of the building construction locally by Price City or by Carbon County only upon final execution of a building inspection agreement between Price City and Carbon County.
- b. All development consistent with all information, agreements, documents submitted to Price City finding that development consistent with supplied information mitigates misunderstandings and promotes efficient development activity in the community.
- c. No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.
- e. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.



GENERAL NOTES

ORIGINAL STATE.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS."

ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF WORK.

CONTRACTOR SHALL COMPLY WITH SAFETY REQUIREMENTS CONTAINED IN THE GENERAL CONDITIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LAND OF PUBLIC AND PRIVATE OWNERSHIP TO BE RESTORED TO ITS

CONTRACTOR SHALL RETAIN AND PROTECT WHERE POSSIBLE ALL LANDSCAPING, TREES, EXISTING UTILITIES, DITCHES, CULVERTS, PAVEMENT, FENCING, etc. EXCEPT WHERE REMOVAL OF SUCH ITEMS IS SPECIFICALLY CALLED FOR ON DRAWINGS. ANY DAMAGE CAUSED BY CONTRACTOR SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.

ALL ABANDONED UTILITIES DAMAGED OR EXPOSED DURING CONSTRUCTION SHALL BE REMOVED CAPPED AND PLUGGED. ENGINEER SHALL DETERMINE WHICH UTILITIES ARE ABANDONED.

THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH. BLUE STAKES (800) 662-4111.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CAMPUS UTILITY DIRECTOR AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.

ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.

CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE ENGINEER SHALL BE REMOVED AND REPLACED. TAKE PHOTOS OF JOB SITE PRIOR TO PROJECT BEGINNING.

CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.

ALL GRADING WORK SHALL CONFORM TO THE LIMITED SITE INVESTIGATION AS PREPARED BY RMEC ENVIRONMENTAL, INC. DATED MARCH 9, 2016 AS SHOWN ON THESE PLANS.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS.

CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.

PROPER SIGNS, BARRIERS, BARRICADES AND LIGHTS SHALL BE PLACED AND MAINTAINED.

THIS PLAN DOES NOT AUTHORIZE CLOSURE OF ANY ROAD OR STREET.

CONTRACTOR SHALL PROTECT CONSTRUCT STAGING AREA WITH FENCING.

CONTRACTOR SHALL MAINTAIN DUST FREE WORK AND STORAGE AREAS.

GRADING NOTES

IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF—SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.

CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.

MATERIAL LEFTOVER FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF IN A LEGAL OFF—SITE LOCATION APPROVED BY THE ENGINEER.

THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT—OF—WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION. CONTRACTOR SHALL REMOVE ALL MUD TRACKED FROM THE PROJECT SITE ONTO PUBLIC DRIVES AND ROADWAYS.

DEVIATIONS FROM STANDARDS

THERE ARE NO DEVIATIONS, UNLESS STATED IN THE SPECIFICATIONS.

HOT MIX ASPHALT (HMA)

AGGREGATE: 1/2" MAX

DATION	IDEAL GRADATION	% PASSING
1	<u>of passing band</u>	GRADATION BAND
<u>1</u> "	100	100
#4	70	60-80
#16	35	28-42
#50	17	11-23
¹ 200	7	5-9

ASPHALT GRADE PG58-22, VISCOSITY GRADED ENGINEER MUST APPROVE THE JOB MIX FORMULA COMPACTION-95% AASHTO T-99
ASPHALT PLACED @ TEMPERATURE ABOVE 250°F

HMA MINERAL AGGREGATES SHOULD CONFORM TO SECTION 02741 OF STANDARD SPECIFICATION OF UTAH DEPARTMENT OF TRANSPORTATION. MIXING, PLACING, AND DENSIFICATION OF ASPHALT MATERIAL SHOULD CONFORM TO UTAH DEPARTMENT OF TRANSPORTATION STANDARDS.

UNTREATED BASE COURSE (1-INCH MAX)

1-INCH GRADATION

SIEVE SIZE	% PASSING-GRADATION	BAN
1"	100	
1/2"	79-91	
#4	49-61	
#16	27-35	
#200	7-11	

MUST CONFORM TO UTAH DEPARTMENT OF TRANSPORTATION SPECIFICATION, COMPACTED TO 95% OF MAXIMUM DENSITY, AASHTO T—180 MOISTURE CONTENT WITHIN 2% OF OPTIMUM

3" GRANULAR BORROW

GRANULAR BORROW SOURCE MUST BE APPROVED BY THE ENGINEER FOR QUALITY AND CONSISTENCY AND MUST BE NON-PLASTIC AND MEET THE FOLLOWING GRADATION:

NON-PLASTIC 3-INCH	% PASSING
3-INCH	71-100
2-INCH	26-70
#4	16-25
#200	0-15

COMPACTED TO 95% OF MAXIMUM DENSITY, AASHTO T-180 MOISTURE CONTENT WITHIN 2% OF OPTIMUM.

BORROW WILL BE COMPACTED BY A SHEEPS FOOT COMPACTOR CAPABLE OF APPLYING A CENTRIFUGAL FORCE OF 60,000 LBS.

CONCRETE

CEMENT SHALL BE ASTM C150, TYPE V
COMPRESSIVE STRENGTH = 4000 PSI
CLASS 2 COURSE AGGREGATE SIZE 57 (1" TO #4, ASTM C-33 TABLE II)
AIR CONTENT BY VOLUME- 5.5 TO 7 PERCENT.
REINFORCING STEEL SHALL CONFORM TO ASTM GA-615, GRADE 60-S

PIPE

WATER: PVC CLASS 200 PIPE REQ'D.

SEWER: PVC (D-3034) 4" DIA. CLEANOUTS REQ'D.

RESTORATION OF ORIGINAL LANDSCAPING REQ'D.

THIS ITEM SHALL INCLUDE ALL NECESSARY FITTINGS

TO DO THE WORK. ELBOWS SHALL BE SWEEPING 45°.

LAID ON GRADE WITH LASER CONTROL

DRAIN: ADS N-12

USE THRUST BLOCKS AS REQ'D.

EXCAVATION

BUILDING, PARKING, AND DRIVING AREAS MUST BE EXCAVATED DOWN TO SUBGRADE, APPROXIMATELY ±21 INCHES DEEP. REPLACE WITH STRUCTURAL FILL AS SHOWN ON THE TYPICAL DETAILS AT 2% OPTIMUM MOISTURE TO 95% COMPACTION. DO NOT EXCEED 8" LIFTS.

RESTORATION

THE CONTRACTOR MUST RESTORE ANY DISTURBED AREAS TO THEIR ORIGINAL CONDITION WHILE LAYING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO THE RESTORATION OF ROADS, TREES, FENCES, SPRINKLER SYSTEMS, ROCK LANDSCAPING, ETC.

THESE IMPROVEMENTS WILL BE RESTORED AS SOON AS POSSIBLE AFTER THE PIPE INSTALLATION.

PAINT STRIPING

APPLICATION RATE: 190 TO 240ft. PER GALLON 20-25 WET MILS FOR ALL LONGITUDINAL MARKINGS. 23-40 WET MILS FOR ALL PAINTED LEGENDS AS DETERMINED BY A WET MIL GAUGE. GLASS SPHERE (BEADS): APPLY A MIN. OF 8 LBS. PER GALLON OF PAINT. TEMPERATURE FOR APPLICATION: 50 DEGREES AND RISING FOR COLOR AND WIDTH SEE DETAIL SHEET C1.6.

ABBREVIATIONS

BOW	BOTTOM OF WALL		
CONC.	CONCRETE		
ELEV.	ELEVATION		
FF	FINISH FLOOR		
IE	INVERT ELEVATION		
L.F.	LINEAR FEET		
MIN.	MINIMUM		
O.C.	ON CENTER		
PNT	POINT		
RAD	RADIUS		
REQ'D.	REQUIRED		
STA	STATION		
TBC	TOP BACK OF CURB		
TOW	TOP OF WALL		
TYP.	TYPICAL		
UTBC	UNTREATED BASE COURSE		

INDEX

C-001	GENERAL NOTES
CD103	DEMOLITION PLAN
CS101	HORIZONTAL CONTROL
CG101	EXISTING CONDITIONS
CG102	GRADING PLAN
CU101	UTILITY PLAN
CG502	DETAILS

DETAILS



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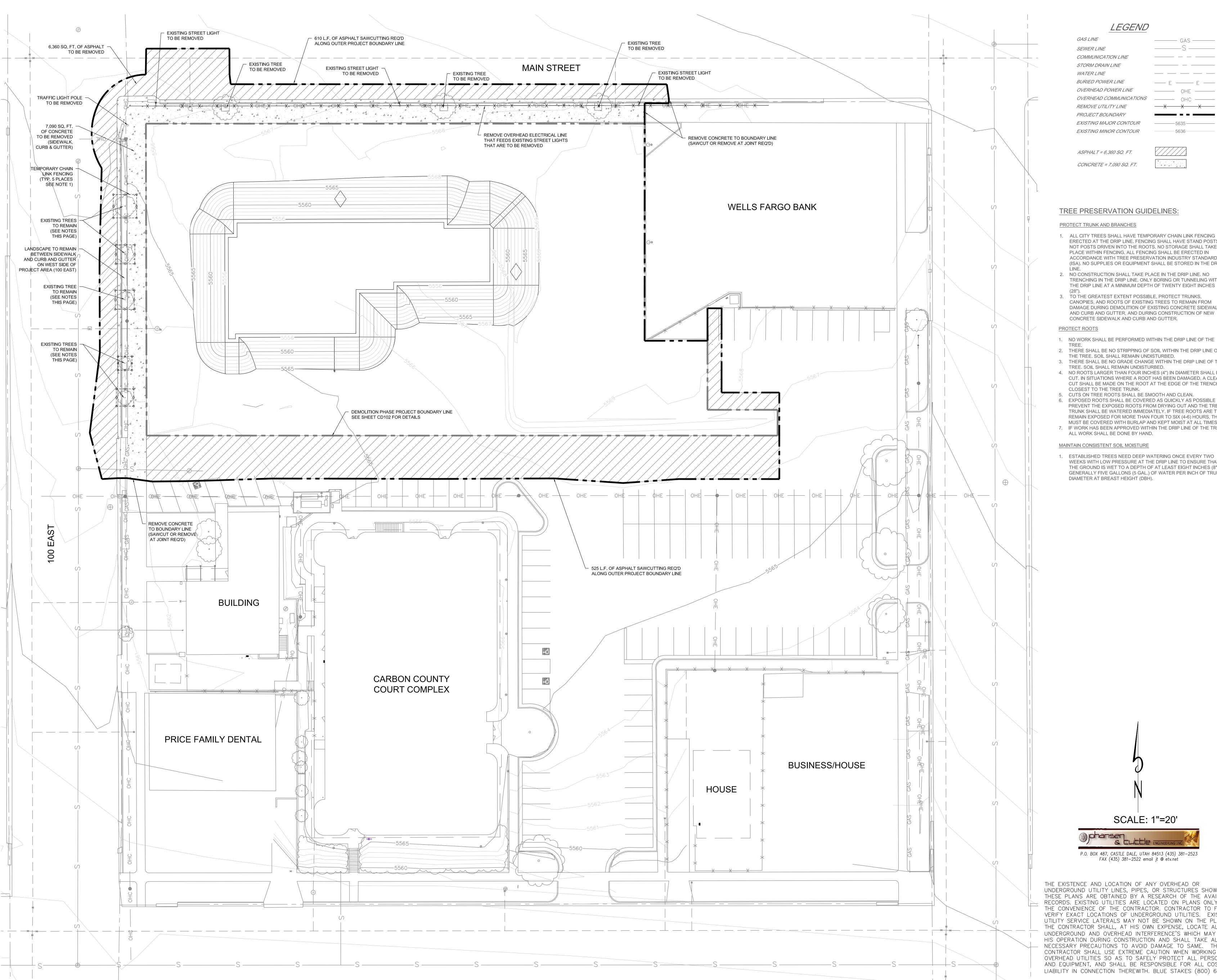
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GENERAL NOTES

Mohansen

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LEGEND

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PROTECT TRUNK AND BRANCHES

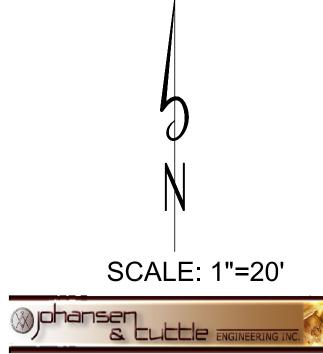
- 1. ALL CITY TREES SHALL HAVE TEMPORARY CHAIN LINK FENCING ERECTED AT THE DRIP LINE. FENCING SHALL HAVE STAND POSTS, NOT POSTS DRIVEN INTO THE ROOTS. NO STORAGE SHALL TAKE PLACE WITHIN FENCING. ALL FENCING SHALL BE ERECTED IN ACCORDANCE WITH TREE PRESERVATION INDUSTRY STANDARDS (ISA). NO SUPPLIES OR EQUIPMENT SHALL BE STORED IN THE DRIP
- 2. NO CONSTRUCTION SHALL TAKE PLACE IN THE DRIP LINE. NO TRENCHING IN THE DRIP LINE. ONLY BORING OR TUNNELING WITHIN THE DRIP LINE AT A MINIMUM DEPTH OF TWENTY EIGHT INCHES
- 3. TO THE GREATEST EXTENT POSSIBLE, PROTECT TRUNKS, CANOPIES, AND ROOTS OF EXISTING TREES TO REMAIN FROM DAMAGE DURING DEMOLITION OF EXISTING CONCRETE SIDEWALK AND CURB AND GUTTER, AND DURING CONSTRUCTION OF NEW CONCRETE SIDEWALK AND CURB AND GUTTER.

PROTECT ROOTS

- 1. NO WORK SHALL BE PERFORMED WITHIN THE DRIP LINE OF THE
- 2. THERE SHALL BE NO STRIPPING OF SOIL WITHIN THE DRIP LINE OF THE TREE. SOIL SHALL REMAIN UNDISTURBED. 3. THERE SHALL BE NO GRADE CHANGE WITHIN THE DRIP LINE OF THE
- TREE. SOIL SHALL REMAIN UNDISTURBED. 4. NO ROOTS LARGER THAN FOUR INCHES (4") IN DIAMETER SHALL BE CUT. IN SITUATIONS WHERE A ROOT HAS BEEN DAMAGED, A CLEAN CUT SHALL BE MADE ON THE ROOT AT THE EDGE OF THE TRENCH
- CLOSEST TO THE TREE TRUNK. 5. CUTS ON TREE ROOTS SHALL BE SMOOTH AND CLEAN. 6. EXPOSED ROOTS SHALL BE COVERED AS QUICKLY AS POSSIBLE TO PREVENT THE EXPOSED ROOTS FROM DRYING OUT AND THE TREE TRUNK SHALL BE WATERED IMMEDIATELY IF TREE ROOTS ARE TO
- REMAIN EXPOSED FOR MORE THAN FOUR TO SIX (4-6) HOURS, THEY MUST BE COVERED WITH BURLAP AND KEPT MOIST AT ALL TIMES. 7. IF WORK HAS BEEN APPROVED WITHIN THE DRIP LINE OF THE TREE, ALL WORK SHALL BE DONE BY HAND.

MAINTAIN CONSISTENT SOIL MOISTURE

1. ESTABLISHED TREES NEED DEEP WATERING ONCE EVERY TWO WEEKS WITH LOW PRESSURE AT THE DRIP LINE TO ENSURE THAT THE GROUND IS WET TO A DEPTH OF AT LEAST EIGHT INCHES (8"). GENERALLY FIVE GALLONS (5 GAL.) OF WATER PER INCH OF TRUNK DIAMETER AT BREAST HEIGHT (DBH).



THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF UNDERGROUND UTILITIES. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH. BLUE STAKES (800) 662-4111.

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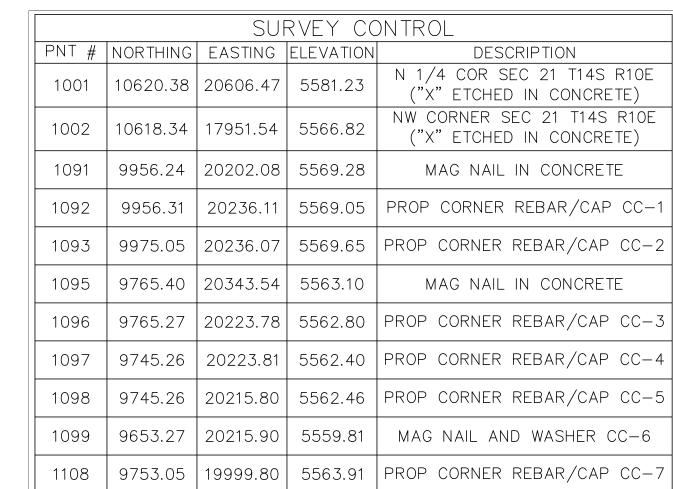
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DEMOLITION PLAN

CD103







1109 | 9752.94 | 19914.54 | 5561.09 MAG NAIL IN CONCRETE PROP CORNER REBAR/CAP CC-8, 1111 | 10081.85 | 19914.22 | 5565.91 (0.10' SOUTH OF CORNER) 1112 | 10082.22 | 20201.94 | 5569.62 | PROP CORNER REBAR/CAP CC-9 |



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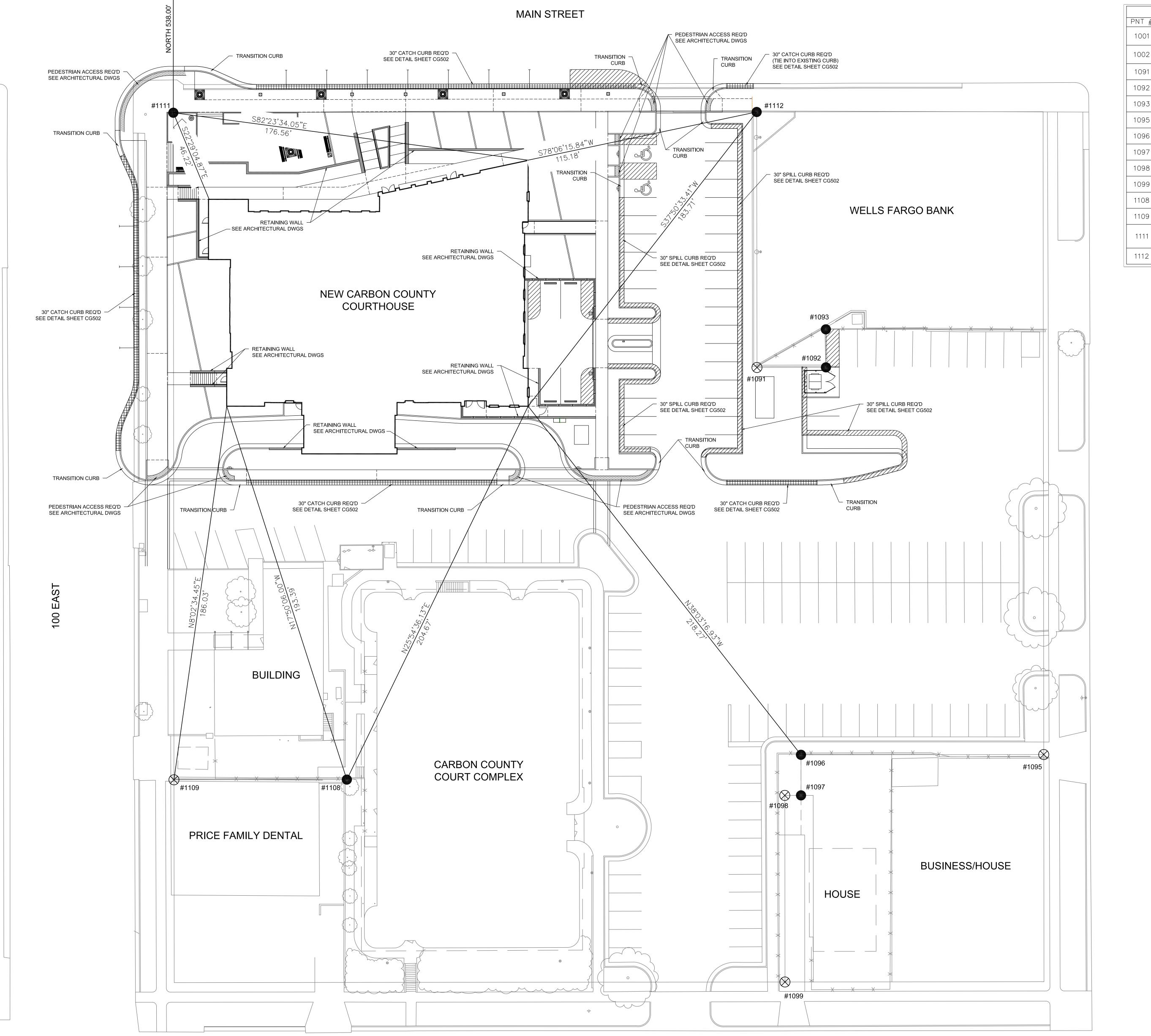
NEXUS PROJECT #: 15176 CHECKED BY: JJ DRAWN BY: NLB DATE: 31 AUGUST 2016 HORIZONTAL

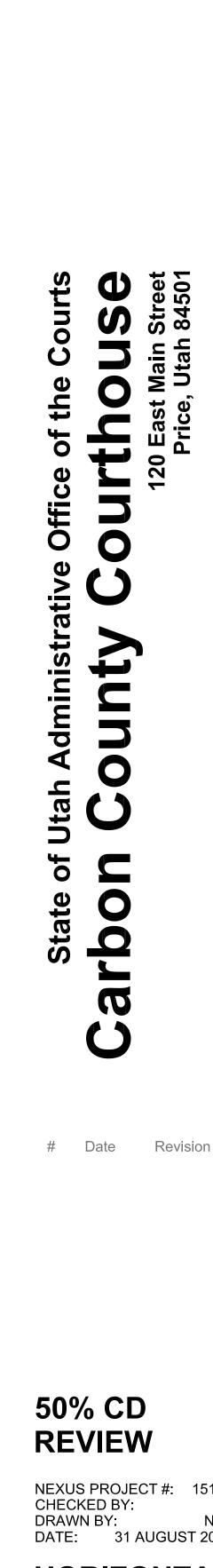
CONTROL

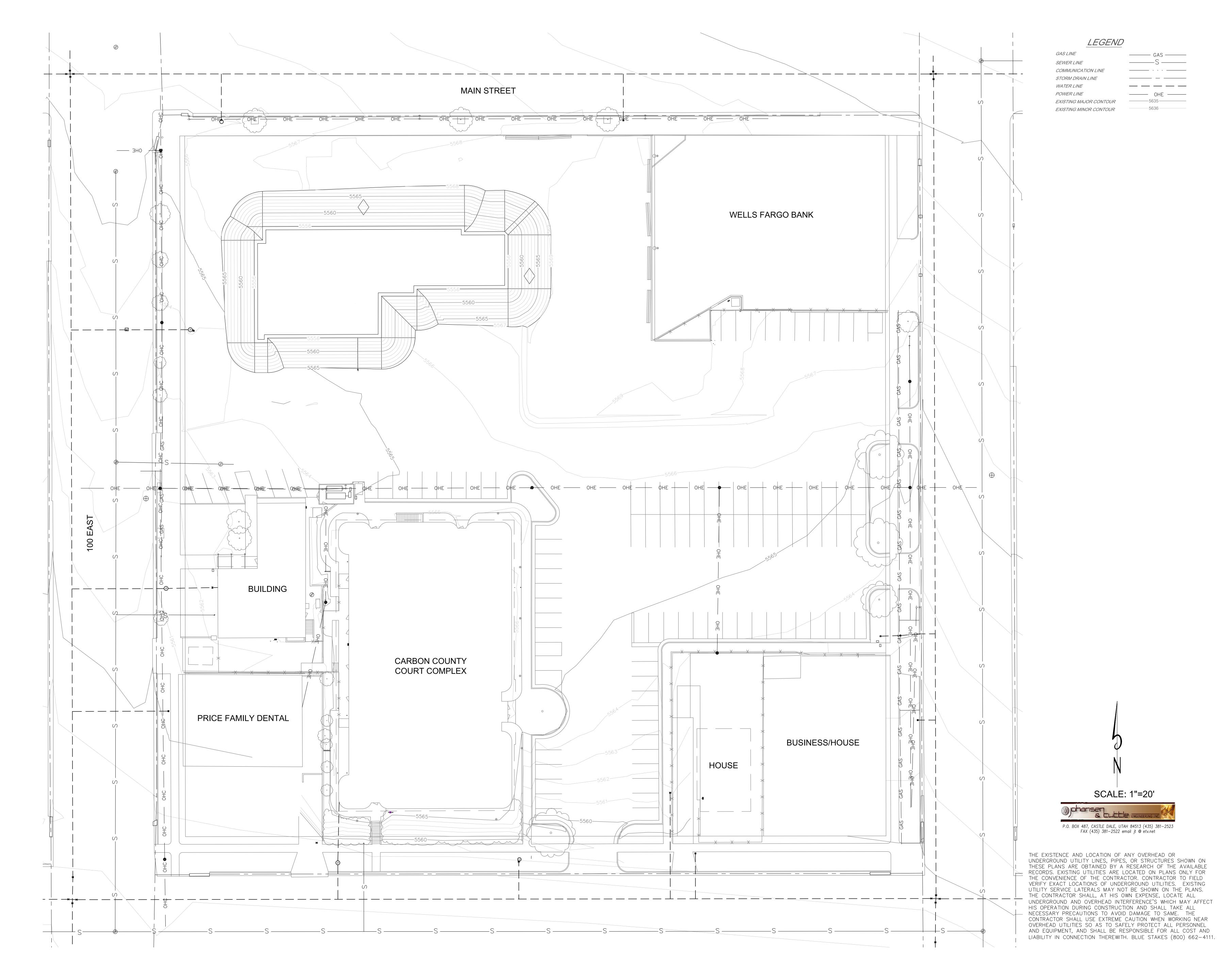
SCALE: 1"=20'

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CS101









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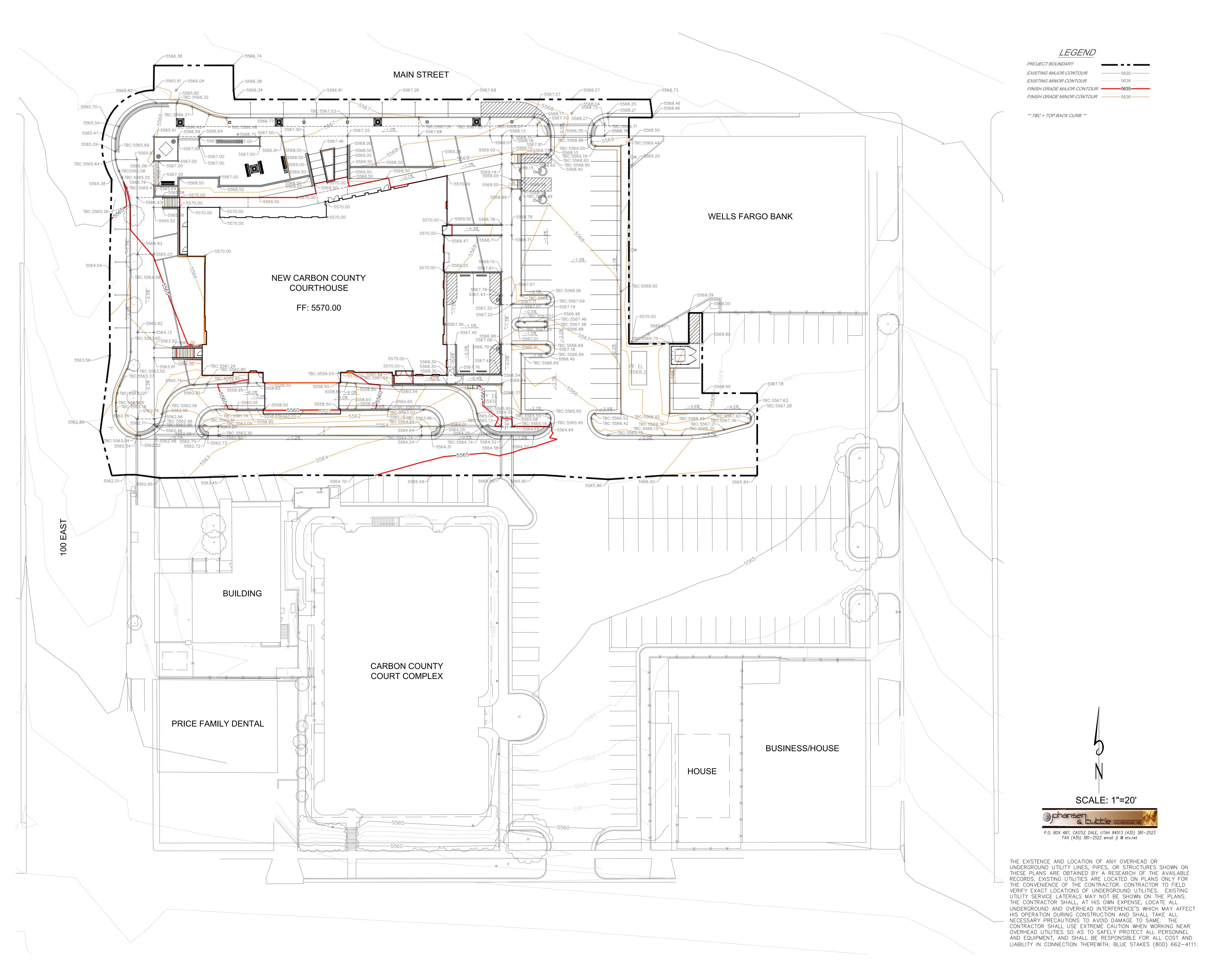
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EXISTING CONDITIONS

CG101





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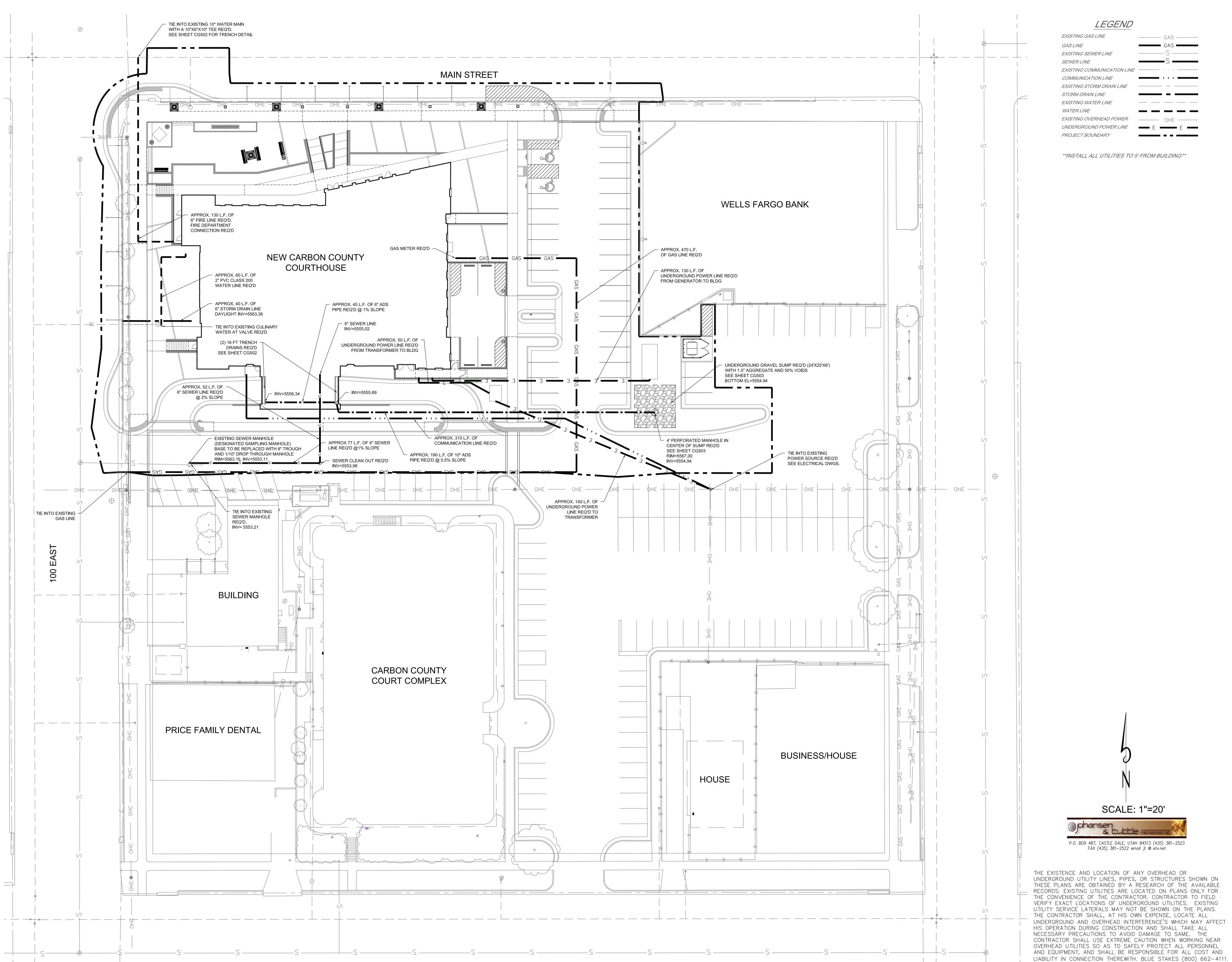
State of Utah Administrative Office of the Courts Carbon County Courthouse 120 East Main Street

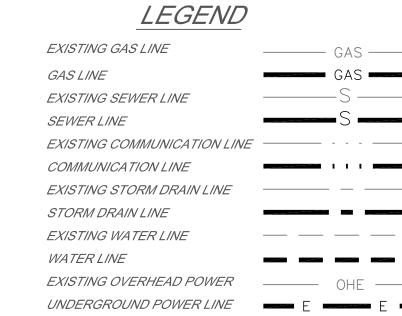
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GRADING PLAN

CG102





INSTALL ALL UTILITIES TO 5' FROM BUILDING

SCALE: 1"=20'



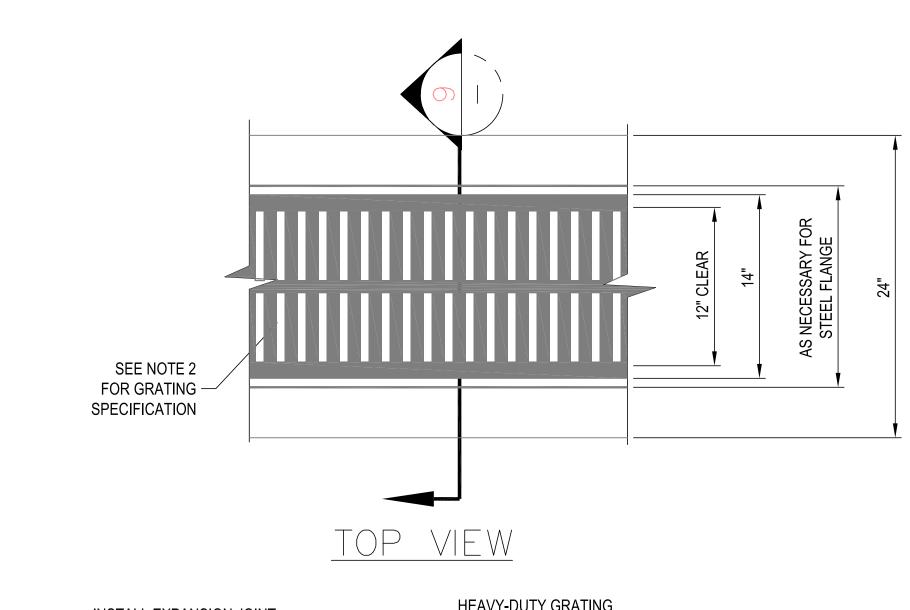
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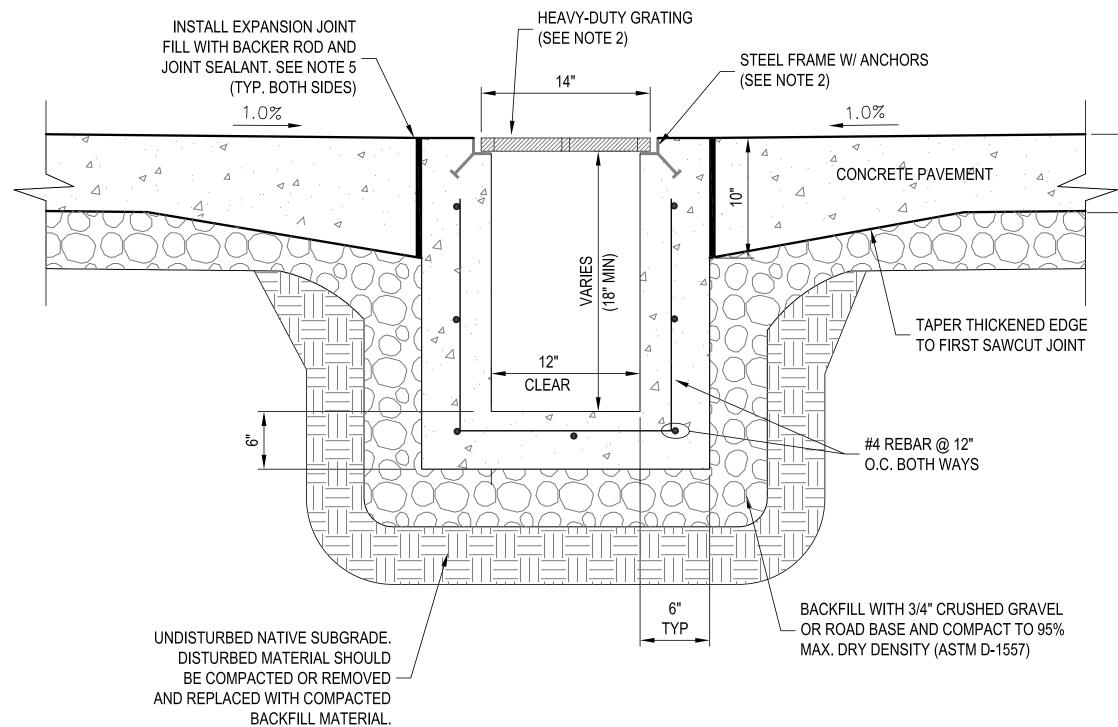
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UTILITY **PLAN**





TRENCH DRAIN CONSTRUCTION NOTES:

1. CONTRACTOR HAS THE OPTION TO CONSTRUCT TRENCH DRAIN AS SHOWN, OR USE 12" WIDE FASTFORM 300 TRENCH DRAIN WITH STEEL FRAME AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

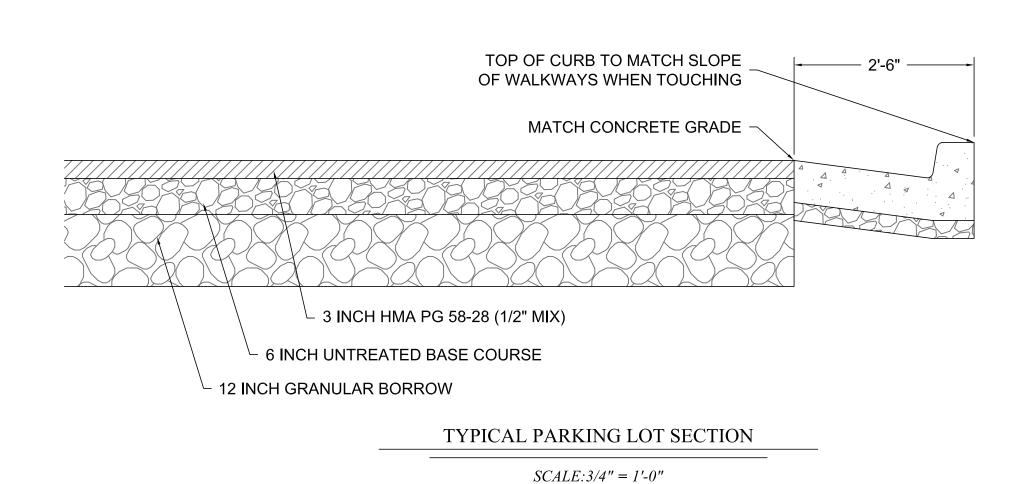
2. PROVIDE HEAVY-DUTY DUCTILE IRON GRATES, (D&L SUPPLY 4203 OR OTHER APPROVED). FRAMES SHALL BE GALVANIZED OR PAINTED STEEL ANGLE WITH WELDED CONCRETE ANCHORS @ 24" MIN. SPACING.

3. ALL CONCRETE SHALL HAVE 4,000 PSI 28 DAY COMPRESSIVE STRENGTH AND BE AIR ENTRAINED (6% ±1%). SEE APWA STANDARD SPECIFICATIONS SECTION 03304 - PORTLAND CEMENT CONCRETE.

4. ALL REINFORCING STEEL SHALL BE GRADE 60 #4 BAR AND COMPLY WITH APWA STANDARD SPECIFICATIONS SECTION 03200 - REINFORCEMENT.

5. EXPANSION JOINTS SHALL BE INSTALLED BETWEEN THE TRENCH DRAIN AND SLAB AS SHOWN. FORM JOINTS USING FILLER STRIPS, BACKER ROD, AND JOINT SEALANT. SEE APWA STANDARD SPECIFICATIONS SECTION 03060 - EXPANSION JOINTS.

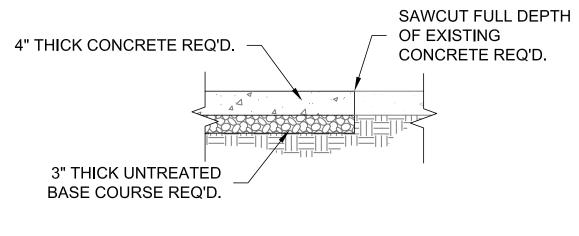
> TRENCH DRAIN DETAIL NTS



4 INCH CONCRETE FLATWORK 3 INCH UNTREATED BASE COURSE

4 INCH CONCRETE FLATWORK SECTION

SCALE: 3/4" = 1'-0"



TYPICAL CONCRETE FLATWORK/SAWCUT

SCALE : 3/4" = 1'-0"

TACK COAT REQUIRED ON ALL HMA SEAMS. TACK COAT REQ'D. REMOVE & DISPOSE OF SAWCUT FULL DEPTH OF EXISTING ASPHALT REQ'D. EXISTING ASPHALT REQ'D. existing asphalt SEE TYPICALS

TYPICAL SAWCUT

SCALE: 3/4" = 1'-0"

1" RAD -3" UNTREATED BASE COURSE

TYPICAL CATCH CURB & GUTTER

 $SCALE: 1 \ 1/2" = 1'-0"$

THRUST BLOCK CONSTRUCTION NOTES:

2. CONCRETE SHALL BE READY MIX.

TEE PLAN VIEW

TEE ELEV. VIEW

UNDISTURBED SOIL OR COMPACTED BACKFILL

3. IN UNSTABLE SOILS A SPECIAL DESIGN IS REQ'D.

4. MIN. SIZE OF THRUST BLOCK SHALL BE 9 CU. FT.

5. DO NOT POUR OVER THE TOP OF FITTINGS

1. ALL THRUST BLOCK FACES SHALL BE PLACED AGAINST

7. ALL BEND FITTINGS SHALL RECEIVE A THRUST BLOCK. (GREATER THAN 22.5°)

PLUG OR CAP PLAN VIEW

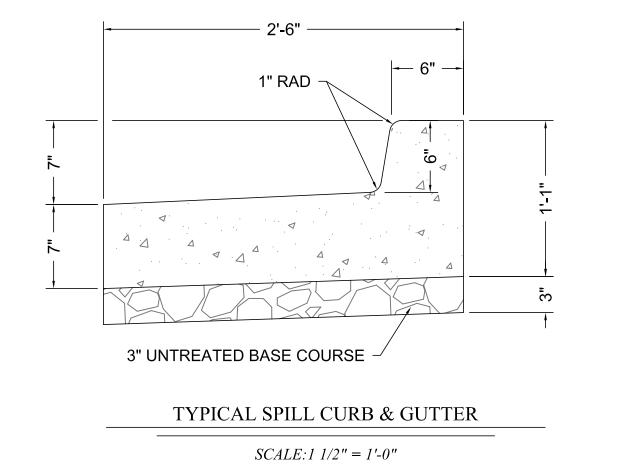
PLUG OR CAP ELEV. VIEW

6. ALL FITTINGS ARE TO BE COVERED WITH PLASTIC SHEETING BEFORE PLACING CONCRETE THRUST BLOCKS

ELBOW PLAN VIEW

ELBOW ELEV. VIEW

8. ALL THRUST BLOCKS SHALL BE ADEQUATELY CURED PRIOR TO PRESSURIZING THE PIPELINE



3" OF HOT MIX ASPHALT - 8" OF UTBC REQ'D. (HMA) REQ'D. SAWCUT REQ'D. SAWCUT REQ'D. **NEW OR EXISTING** NEW OR EXISTING ASPHALT ASPHALT GEO-TEXTILE FABRIC REQ'D. -2" DRAIN ROCK REQ'D. PIPE REQ'D. (SEE PLANS FOR SIZE & TYPE) AS NOTED - AS REQ'D. ----NOTE: 6" OF 1" MINUS UNTREATED BASE REQ'D. UNDER DRAIN PIPE IN DRY CONDITIONS AND 12" OF 2" DRAIN ROCK REQ'D. UNDER DRAIN PIPE IN WET CONDITIONS.

TYPICAL DRAIN LINE TRENCH IN ASPHALT

SCALE: 3/4" = 1'-0"

/ 8" OF UTBC REQ'D. 3" OF HMA REQ'D. SAWCUT REQ'D. SAWCUT REQ'D. EXISTING ASPHALT **EXISTING ASPHALT GRANULAR BORROW** 2'-10" min. (3" MINUS) REQ'D. TRACER WIRE REQ'D. TAPED TO TOP OF PIPE UNTREATED BASE COARSE (UTBC) (1" MINUS) REQ'D. PIPE REQ'D. (SEE PLANS FOR SIZE & TYPE) AS NOTED → AS REQ'D. →

> TYPICAL SEWER AND WATER LINE TRENCH SCALE: 3/4" = 1'-0"

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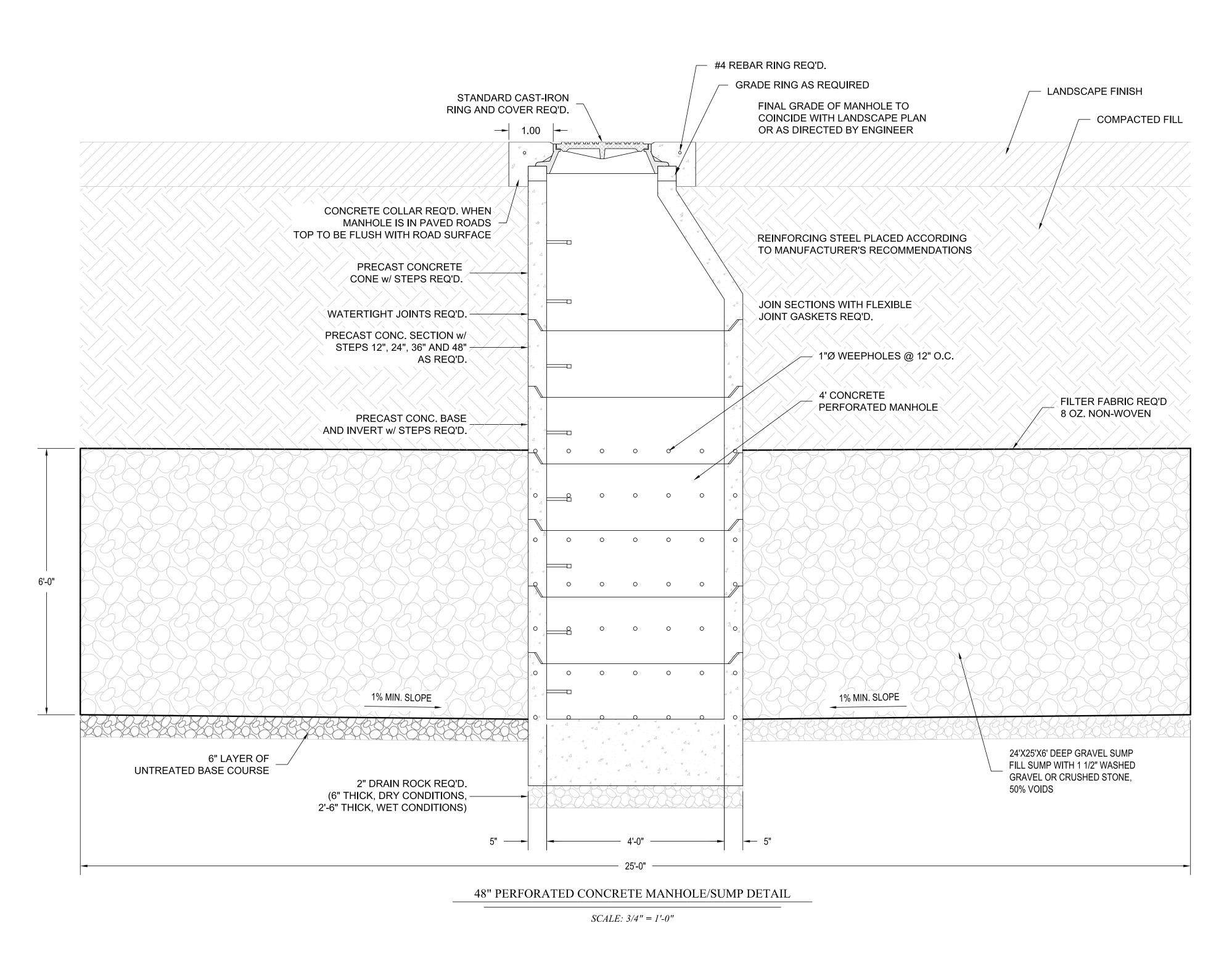
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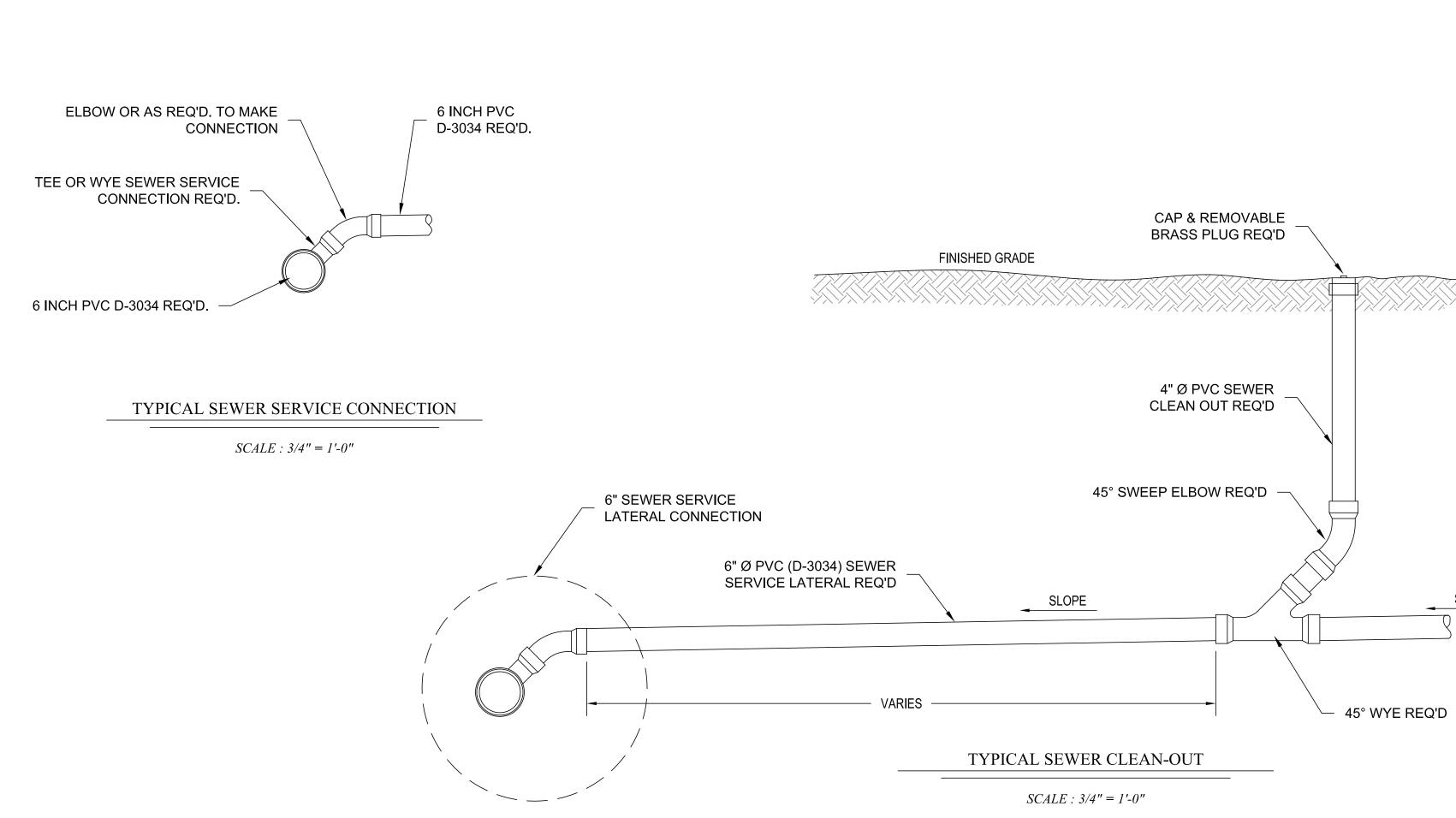
Date Revision

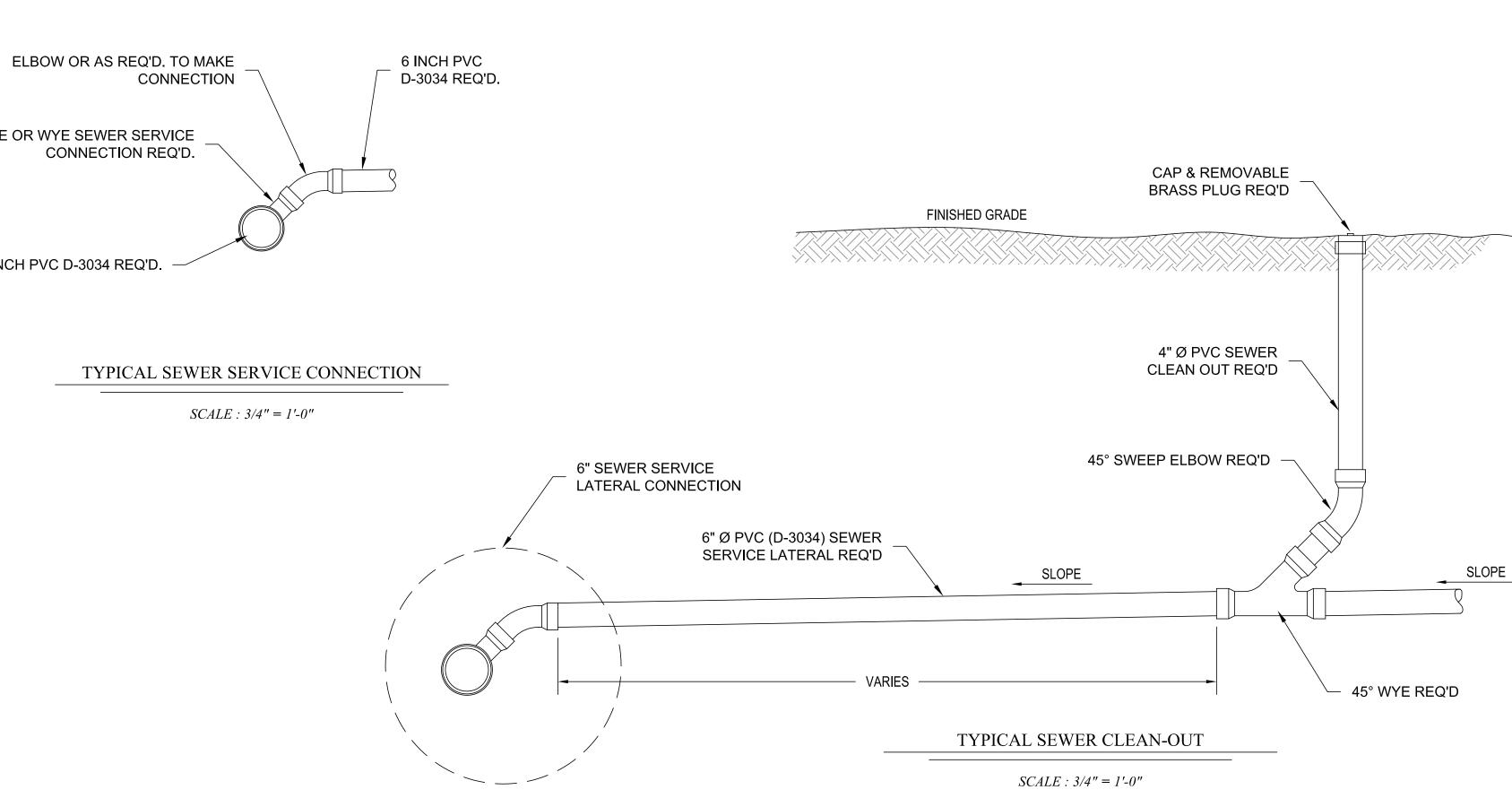
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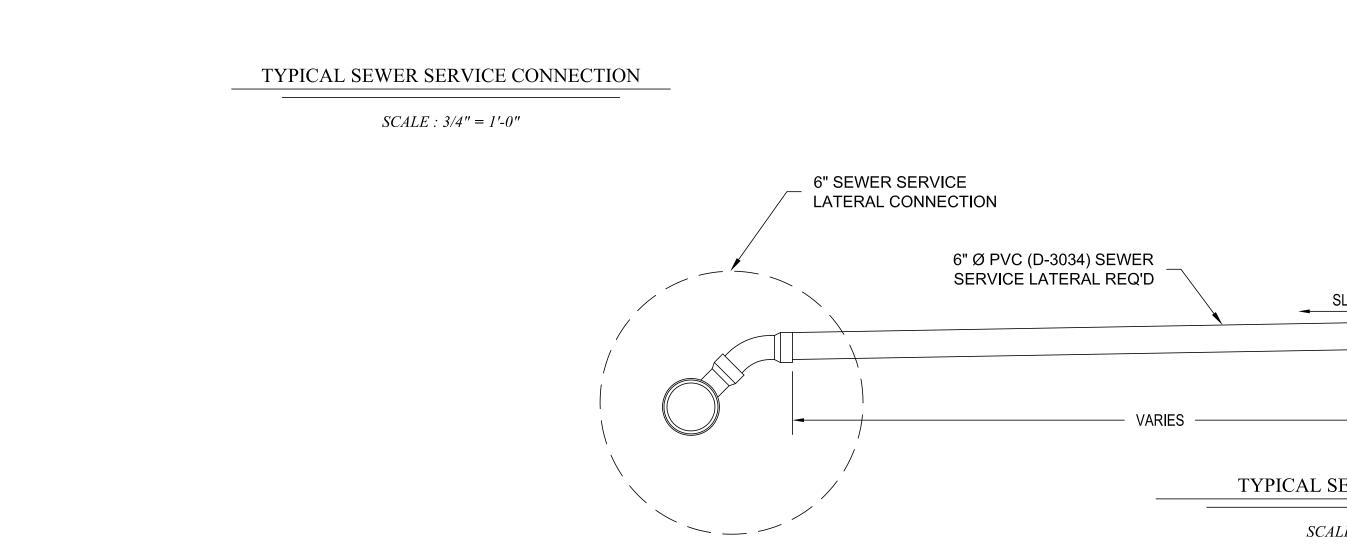
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DETAILS













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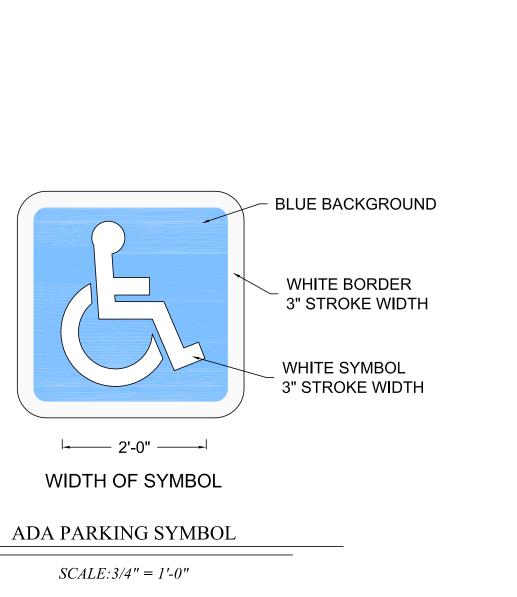
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DETAILS

CG503



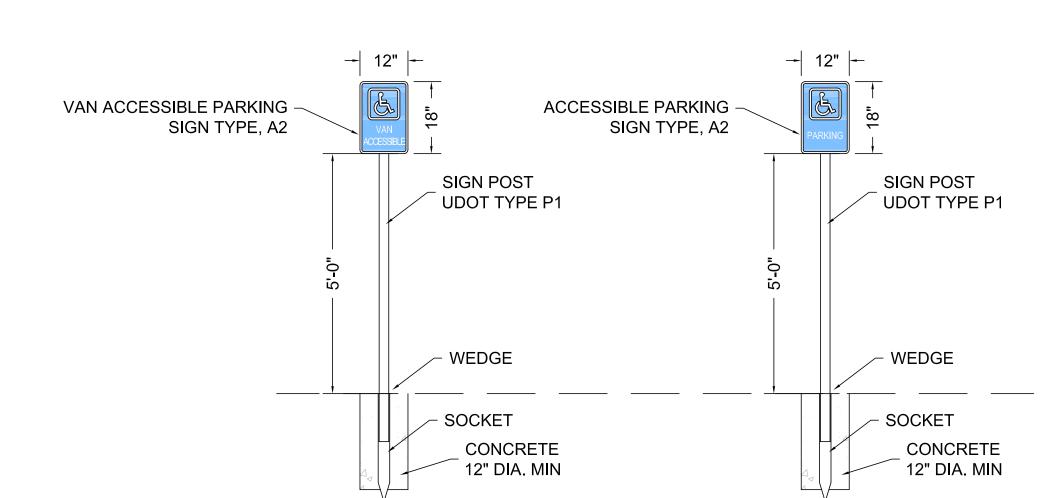
TYPICAL CAST-IRON RING & COVER

PLAN VIEW

SCALE: 3/4" = 1'-0"

TYPICAL CAST-IRON RING & COVER

SECTION A - A SCALE: 3/4" = 1'-0"



TYPICAL SIGN, POST AND BASE INSTALLATION UDOT TYPE B1 BASE STD DWG SN 9A

SCALE: 1/2" = 1'-0"

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR DEVELOPMENT OF AN EXECUTIVE, LEGISLATIVE AND JUDICIAL FUNCTIONS BUILDING AND LAND USE LOCATED AT 120 EAST MAIN STREET WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

<u>Purpose</u>: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and SETH OVESON, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with CARBON COUNTY, SETH OVESON.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and SETH OVESON, (Applicant), for the property located at 120 EAST MAIN STREET.

<u>Term</u>: the term of this agreement commences on <u>September 26th</u>, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following: Applicant Shall:

- Site Plan:
 - o Exterior area and parking lot lighting per the lighting plan. Exterior lighting to be high efficiency LED fixtures only.
 - o Fencing to be installed as indicated: (Re)Install as needed a six foot (6') sight obscuring fencing surrounding bank to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: Main Street and 200 East. (Re)Install as needed a six foot (6') sight obscuring fencing surrounding residential structures and properties to be installed. Fence to only be three feet (3') high for first twenty feet (20') back from each sidewalk: 200 East and 100 South.
 - o Ingress & Egress: Main Street driveway to be a minimum of thirty-feet (30') in width finding that wider ingress/egress at the location may mitigate vehicle and pedestrian conflicts. 100 East driveway to be a minimum of thirty-feet (30') in width and signage posted to direct secure & non-secure access to the sally-port.
 - o Installation of a minimum of five percent (5%) landscaping compliant with the Code finding that landscaped developments improve the community aesthetic. Minimum of eighty-five percent (85%) landscaping drought tolerant and water-wise. Backflow prevention installed & inspected by Price City Water Department prior to use/operation of irrigation system. Plantings, lighting, concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north.
 - Off-street parking to be a minimum of one-hundred twenty-eight (128) spaces (38,344 net usable square feet / 300 = 127.81 → 128) for the overall site finding that adequate off-street parking mitigates congestion on roadways surrounding the development. Shared parking with adjoining uses permitted. On-street parking to be striped angle parking consistent with size and angles in Chapter 6 of the Code. No parking or storage of commercial, industrial, construction vehicles and equipment.
 - Garbage dumpster to be located within an enclosure with sight obscuring gate inserts to prevent unauthorized access including a service frequency to mitigate
 wind scatter of garbage, rubbish or debris and nuisance accumulations or odors. No hazardous or other restricted materials or items to be disposed of in garbage
 dumpster.
 - Fire Department Red Zones and access to be coordinated with the Price City Fire Chief finding that compliant and functional fire access and infrastructure
 protect the health, safety and welfare of the public. Includes access points, fire department connections, fire risers, on-site hydrant placement, hydrant minimum
 flow, supply line sizing.
 - o Building signage and way-finding signage to only be installed upon completion of submission of final signage plan, review and authorization by the Price City Planning Department. Signage to include numeric address and street locater. Monument sign, per Section 4.13.1.1.a of the Code, not to exceed forty-five square feet in size as indicated.
- Water, sewer and electric utility connections to be coordinated and installed under the direction of the Price City water/sewer department and Price City electric department finding that properly coordinated utility connections provide long-term service to development.
 - Electrical load sheet to be submitted to the Price City electric department in advance of connection request.
 - o Provide to Price City all necessary utility easements for access to installed public utilities, including fire department access.
- Existing Structures:
 - o Existing 7th District Court Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses may require additional review and permitting.
 - Existing Carbon County P&Z Building restricted to public or private administration and business office services land uses as indicated in Section 11.3.5.1 of the Code finding that alternate land uses may require additional review and permitting.
- Plans, Licenses, Permits and Documents:
 - o Completion of a geotechnical study by a qualified geotechnical engineer and submission of the study to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the study.
 - Completion of a storm water management plan and submission of the plan to the Price City Engineer for review and concurrence and compliance with all recommendations and direction from the Price City Engineer regarding development based on the plan. Plan to address a 100 year storm event and mitigate any storm water runoff impact on neighboring and surrounding property. All storm water runoff must not flow to neighboring properties and must be fully mitigated.
 - o Completion of a Public Infrastructure Development Agreement and submission of the required financial surety, if required, to the Price City Public Works Department. All public infrastructure to be (re)installed/replaced surrounding the development site meeting Price City Minimum Standards and coordinated with the Price City Engineer. Plantings, lighting and concrete treatments in sidewalk area to match same at Peace Garden across Main Street to north, as indicated above in landscaping requirements section. Decorative Bump-Outs at curb line into roadway restricted.
 - Completion of a Private Utility Agreement, if required, to the Price City Public Works Department.
 - Complete a Price River Water Improvement District (PRWID) Waste Water Survey and submit to PRWID, copy to Price City, and compliance with all directed waste water system protection recommendations stemming from the survey including grease traps and sampling manholes provided by PRWID or Price City.
 - Submission of construction plans to Price City and procurement of a Price City building permit prior to commencement of construction finding that properly licensed, permitted and inspected commercial development protects the health, safety and welfare of the community. Construction plans to be reviewed for compliance with the IBC 2015 and all construction consistent with that review and any plan amendments stemming from the review. Inspection of the building construction locally by Price City or by Carbon County only upon final execution of a building inspection agreement between Price City and Carbon County.
- All development consistent with all information, agreements, documents submitted to Price City finding that development consistent with supplied information mitigates
 misunderstandings and promotes efficient development activity in the community.
- No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area
 property values and is consistent with the Price City General Plan.

Price City Shall:

Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS, DAY OF, 20	
Price City	Applicant:
By Robert Oliver, Chair	SETH OVESON
ATTEST:	
Sherrie Gordon, City Recorder	

CONDITIONAL USE PERMIT

THIS PERMIT IS HEREBY APPROVED FOR:

A LAND USE OF: AN EXECUTIVE, LEGISLATIVE AND JUDICIAL FUNCTIONS BUILDING AND LAND LOCATED AT 120 EAST MAIN STREET, WITHIN THE COMMERCIAL 1 (C-1)ZONING DISTRICT

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT CODE.



SIGNATURE

DATE

Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director

MILES NELSON



185 EAST MAIN ● P.O. BOX 893 ● PRICE, UT 84501 PHONE (435) 637-5010 ● FAX (435) 637-2905 www.pricecityutah.com

Price City Planning & Zoning Commission

Planning & Zoning Commissioners

ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT

JAN YOUNG
ALTERNATE: ERROLL HOLD
ALTERNATE: TODD THORNE

DATE: SEPTEMBER 8TH, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON

PRICE CITY

RE: DISABLED ADULTS DAY PROGRAM OFFICE – FINAL APPROVAL

Please find attached a Conditional Use Permit (CUP) application a submitted by Sarah Norton to locate an office for administration of programming for day services for disabled adults called America Supports One, LLC., at 214 E 100 N within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria is listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code, the land uses are as follows:

- Public, private, or quasi-public social services administration and activity, Conditional land use, Code Section 11.3.5.41;
- Special training and schooling, Conditional land use, Code Section 11.3.10.3.1;
- Welfare and charitable services, Conditional land use, Code Section 11.3.10.4.2

It is the recommendation of staff to review the operation of the business with the applicant including the site plan elements from the checklist. It should be confirmed with the applicant that the location is approved for day programming and administration only, any other land uses or operations may require additional application, consideration and possible approval.

RECOMMENDED MOTION(S):

• Move to recommend final approval for Sarah Norton, America Supports One, LLC. to locate at 214 East 100 North within the Commercial 1 (C-1) zoning district based upon the general land use evaluation criteria listed in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, the conditional land uses of: (1) Public, private, or quasi-public social services administration and activity, Code Section 11.3.5.41; (2) Special training and schooling, Code Section 11.3.10.3.1; (3) Welfare and charitable services, Code Section 11.3.10.4.2, and subject to the following conditions of approval:

- No parking or storage of commercial vehicles, equipment, trailers at site or onstreet finding that restricted parking and storage mitigates the potential for vehicle or pedestrian accidents.
- o All garbage, rubbish and debris to be deposited in a qualified garbage dumpster or canister and serviced at a frequency to prevent accumulations of garbage, rubbish and debris or wind scatter of garbage, rubbish and debris finding that contained garbage, rubbish and debris is consistent with the Price City General Plan.
- Procurement of a building permit for any building modifications/renovations finding that properly permitted and inspected commercial building modifications/renovations protect the health, safety and welfare of the community.
- Inspection of the location by the Price City Building Inspector and Price City Fire Chief for safety and compliance with all recommendations stemming from the inspections finding that inspected structures protect the health, safety and welfare of the community.
- Submission and review of all business signage prior to installation to the Price City Planning Department finding that properly reviewed and approved commercial signage is consistent with the Price City General Plan.
- o Procurement of a Price City Business license finding that all businesses must have current Price City Business Licenses to operate legally within Price City.
- o No land use activity at the location not specifically approved herein finding that additional business activities or land uses may require additional conditional use permitting.
- a. No condition at the property or structure that violation the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.
- c. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: \$100



CONDITIONAL USE PERMIT APPLICATION

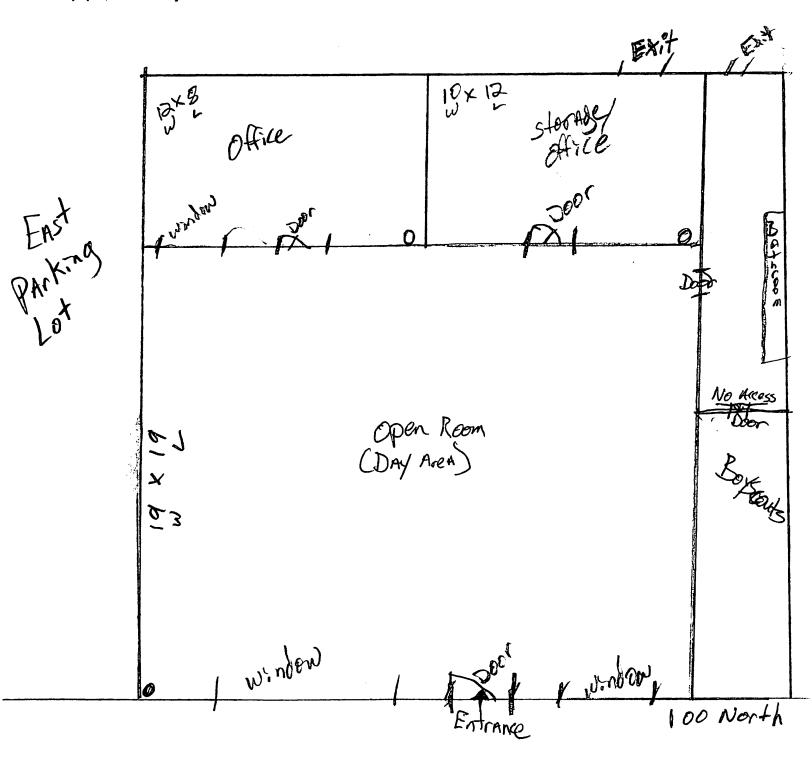
Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one. New Business (Complete be Construction/Develop Plan Phase: Concept Preliminary Final	oves 1 thro	uah 13 on page 1, a	nd all subsequent pag es below and complet	es) e entire ap	plication)
PLEASE TYPE OR PRINT LEG	IBLY.				
		Applicant I	nformation		
Applicant's Name: Sarah Norton Applicant's Mailing Address	ss:		2. Title	Dwne,	e/Apt. No.:
P.O. Box 991 5. City: Wellington 8. County: Carbon		6. State: Uta	لم 9. Telephone: (نا		542
Carbon		Project In	formation		
Name of Project (Busine A 11. Address of Proposed Pro	ess): meric oject: 214	a Suppor East 10	rts One o North	Pric	e, Utah
12. Zone District (see attach	ed zoning	д тар):			
Nature of Pr	oposed V	Vork (Check all a	oplicable items in l	ooxes 13	through 16)
13. Sign Commercial Residential	Storn Stree		15. Excavation Fill Work Building Subdivision Apartments Electrical		16. Industrial Annexation Flood Plain Recreation Street Opening Demolition
17. Quarter Section(s):	18. Sect	ion(s):	19. Township(s):		20. Range(s) & Base:
21. Estimated Cost of Project a) Site Work b) Buildings c) Other Total \$	ct:	22. Electrical Loa (Attach preliminar application)		☐ Plan	ject Plans: as Included chments (Number)

24. Brief Description of Project:		
Soe BUSN	Liz. Appl. (nd)	
25. Justification (Explain why this pro	oject is needed):	Need
		100
26. Names and Addresses of Adjoini	ng Property Owners, Lessees, Etc.:	
NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1.		()
2.		()
3.		()
27. Estimated Starting Date:	28. Estimated Completion Date:	29. Has P.R.W.I.D. Sewer Survey Been Submitted? Yes No
X Koy Hofm	9/7/16	
Signature of Property Owner	Date	
Please Print Name	Owner	
Please Print Name	Title	
Approve Decline Comments:	Office Use Only ing Administrator (Community Director) - Evaluation Critoria	
11.3.5.41 - lan	1 Use = c 11.3	3.10.4.2 - land one - c
11.3.10.3.1-la	nd use = C	
Signature:	Da	te: 9-8-16
Requires: Building Permit - any revocate Conditional Use Permit - land of Code Amendment Board of Adjustments Variance Elood Plain Development Permit Other: BISN Literate	ne y	**

SITE PLAN

Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.



0 = Fire Extinguisher

Revised 08/06

Account No: 3223

Business Activity: 624 Social Assistance
Fee: \$150

Cc: 09-2876



BUSINESS LICENSE APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable licensing fees to: Price City Business Licensing, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3183.

PLEASE TYPE OR PRINT LEGIBLY. Renewal (check and show changes only on form below)				
	Business	Information		
Business Status: New Busines	s Location	Change [Name Change	Ownership Change
Business Name (include DBA): A me	CRICAN SUP	ports On	e LLC	
If Name Change, list previous name:	7			
Business Address: 214 EAST 100 North	h Price,	Utah	Suite/Apt. No.:	
City: Price	State: U+A	h	Zip Code:	01
Business Telephone: (435) 650 - 9 99 4	Business E-ma	ail:	Business Fax:	
Mailing Address (if different)		City: Wellington	State: U+	Zip Code: 84542
Property Owner's Name: Roy Hotey	^	Property Owr	ner's Telephone: (4357)	637-2542
Type of Organization: Corporation Partnership Sole Proprietorship LLC (Include copy of name registration with the State of Utah)				
Type of Business: 🔀 Commercial	☐ Home Occupation	on 🗌 Recipr	ocal Building Occupa	ncy Type:
Nature of Business:	☐ Retail ☐ V	Wholesale	Services 🖟 Other: 🔏	dult Disabled Ser
Opening Date: Sept. 12,16 Busin	ess Hours: From Q	8:00 To 1	6:00 MOD BES	S SU (please circle)
Detailed Description of Business: Sur Certified on Personal Support	pport Services Plans.	for disab	led Adults. Day P	reg mounting
Commercial Square Feet: 1.00 Appre	eximate So. Feet	No. of Mobile	Home Spaces:	
No. of RV Spaces:			•	
State Sales Tax I.D. No. (Include copy or proof of exemption): Federal Tax I.D. No. (Include copy, if applicable): 81-3699824				
State License No. (Include copy, if appli	cable): 16W102	18 Sta	ate License Type: OSB	R/21C
THE FOLLOWING LICENSES ARE SUBLicensing Officer (City Treasurer) at (435 Alcoholic Beverages Eating Establishment Taxi Cab/Motor Carrier	BJECT TO ADDITION 6) 636-3161, or 185 NOTE: If app Establishme	DNAL REQUIR East Main, for r blying for any of t ent, please com	EMENTS. Please contact more information. <i>Check a</i> hese businesses, other than a plete the <u>Consent to a Barrell</u>	the Business all that apply. an Eating ackground/
☐ Pawnbroker ☐ Sexually Oriented Business	Criminal H	ISLOTY CHECK TO	orm included with this appl	ication.

ff applicant	is a SOLE PROPR	RIETOR, complete t	his section.	
Owner's Name: Sarah Norton	_			
Owner's Address: 12 47 E MAI			Suite/Apt. No.:	
City: Well, sigter	State: U/A/	\	Zip Code: 845	42
Owner's Telephone: (435) 650-1438	Owner's E-mai	il:	Owner's Fax:	
Owner's Birth Date: 10/28/91		Owner's Drivers Li	cense No. (include s	state & provide
	Manager Informa	tion (if applicable)		
Manager's Name: John Bown	3 0	no ann 1921 na 1927 na 1822 na bhailtean		
Manager's Address: 640 N. 20			Suite/Apt. No.:	
	State: Utah		Zip Code: 84	1501
Manager's Telephone: (\$35)	Manager's E-m	nail:	Manager's Fax:	
650-9944	Contact Johnn	Bowman Wamas	1. com	
Manager's Birth Date: \$\forall -10-73	/	Manager's Drivers	License No. (includ	e state):
If applicant is a CORF	ORATION, PARTN	ERSHIP, OR LLC,	complete this secti	on.
ALL OFFICERS (First/Middle/Last)	HOME ADDRES	SS (City, ST, Zip)	HOME T	ELEPHONE
1.			()	
2.			()	
3.			()	
TITLE	DATE OF BIRTH	H (MM/DD/YYYY)	DRIVERS LICENSE	E NO. (Include copy)
1.		/ /	#	ST
2.		1 1	#	ST
3.		1 1	#	ST
I am aware that this application does not constitute the laws and ordinances covering such business, at	approval to operate a b nd swear under penalty o	usiness. I hereby agree of law that the information \$\int 30/16	to conduct said business contained herein is true.	strictly in accordance with
Signature of Owner/Agent		Date		
Sarah Norten Please Print Name		Title		
Please allow at least 10 working days for y	our application to be			
Approvals:	Office U	Jse Only		
Business Licensing:	Fire: P & Z:	Inspec	otion:	
Police:				
Date Approved:				

Renewater 7477 Sen

etint \$ della Aus.

Business Registration Completion!

You have successfully registered American Supports One, LLC with the State of Utah. Please review the information provided below for applicable account details and make sure that you print out this page and any applicable forms for your records.

Please Note: You will need to directly contact the local government (municipality or county) for each business location in order to complete the business license process.

Now that you have successfully completed your business registration, you will need to renew your business entity once a year. If you have registered a DBA, you will need to renew every three years. To renew, update or make any changes to your business entity, please visit:https://secure.utah.gov/abr/abr.

BUSINESS FRAUD ALERT

Corporate identity theft is on the rise! This service increases your peace of mind by notifying you when a change is made to your business, allowing you to take immediate action. To learn more please visit:Business Fraud Alert

OSBR Registration Information

Please print out a copy of your OSBR registration information by clicking on the download link below.

Download:

OSBR Registration Information

Utah Department of Commerce, Division of Corporations and Commercial Code

Your Business Registration Number:

10078831-0160

Download:

Articles (.pdf)

Utah State Tax Commission

Your business has been registered with the Utah State Tax Commission. You have been assigned the following temporary license numbers based on the information you provided during this registration process:

Temporary License Number

Employee Income Tax Withholding:

16W10218

Sales and Use Tax:

N/A

This system is not a live update to the Tax Commission. The data is transmitted daily and it will take a few days before you receive a license with your permanent account numbers in the mail. Please do not apply for additional sales or withholding numbers for this business. If you do not receive a paper confirmation of your account(s) or a sales license in the mail within two weeks please call 801-297-2200 or 800-662-4335.

Go to: http://taxexpress.utah.gov/ when you have your permanent account number(s) and sign up to file and pay electronically.

Please visit us at http://lax.utah.gov for additional information on taxes and tax collection and reporting responsibilities, helpful publications, tax rates, forms, etc.

Utah Department of Workforce Services (Unemployment Insurance)

Your Unemployment Insurance Employer Identification Number:

7745120

Your Unemployment Contribution Tax Rate:

not available at this time

Your Unemployment Insurance PIN:

YW7Y15

You have been assigned a temporary unemployment insurance (U.I.) account for your business. Account information is subject to change by an examiner during the review and processing of your account registration.

Your registration will remain in a pending status until we receive confirmation that you have paid an employee or corporate officer for services rendered. Please call 801-526-9235 opt 2 or toll free at 1-800-222-2857 opt 2 to confirm

these payments and to activate your account.

After completion of the examiner's review, a new employer determination letter and PIN confirmation will be mailed to you. The determination letter will contain your confirmed account number, industry classification, and contribution rates. Quarterly reports will be mailed to you or these reports can be filed on our website at http://jobs.utah.gov. Your Employer Registration/U.L Account Number and PIN are required to access your account online.

TO: Price City Business License From: American Supports One LLC

Date: 09-06-16

RE: Price City Business License

Greetings,

I (print name) _____, am the owner of the property located at 214 East 100 North Price, Utah 84501.

I am leasing said property to American Supports One LLC. American Supports One LLC is a business that provides direct and indirect supports for people with disabilities. This letter is to be furnished to Price City Business Licensing Department so that American Support One LLC can obtain a Price City Business License.

Owner Signature:

Date: 9-7-16

Date of this notice: 08-29-2016

Employer Identification Number:

81-3699824

Form: SS-4

Number of this notice: CP 575 A

AMERICAN SUPPORTS ONE SARAH K NORTON SOLE MBR PO BOX 991 WELLINGTON, UT 84542

For assistance you may call us at: 1-800-829-4933

IF YOU WRITE, ATTACH THE STUB AT THE END OF THIS NOTICE.

WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 81-3699824. This EIN will identify you, your business accounts, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

When filing tax documents, payments, and related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear off stub and return it to us.

Based on the information received from you or your representative, you must file the following form(s) by the date(s) shown.

Form 941 Form 940 01/31/2017 01/31/2017

If you have questions about the form(s) or the due date(s) shown, you can call us at the phone number or write to us at the address shown at the top of this notice. If you need help in determining your annual accounting period (tax year), see Publication 538, Accounting Periods and Methods.

We assigned you a tax classification based on information obtained from you or your representative. It is not a legal determination of your tax classification, and is not binding on the IRS. If you want a legal determination of your tax classification, you may request a private letter ruling from the IRS under the guidelines in Revenue Procedure 2004-1, 2004-1 I.R.B. 1 (or superseding Revenue Procedure for the year at issue). Note: Certain tax classification elections can be requested by filing Form 8832, Entity Classification Election. See Form 8832 and its instructions for additional information.

If you are required to deposit for employment taxes (Forms 941, 943, 940, 944, 945, CT-1, or 1042), excise taxes (Form 720), or income taxes (Form 1120), you will receive a Welcome Package shortly, which includes instructions for making your deposits electronically through the Electronic Federal Tax Payment System (EFTPS). A Personal Identification Number (PIN) for EFTPS will also be sent to you under separate cover. Please activate the PIN once you receive it, even if you have requested the services of a tax professional or representative. For more information about EFTPS, refer to Publication 966, Electronic Choices to Pay All Your Federal Taxes. If you need to make a deposit immediately, you will need to make arrangements with your Financial Institution to complete a wire transfer.

File Number: 10078831

LLC

Certificate of Organization OF American Supports One, LLC

The undersigned person(s) do hereby adopt the following Certificate of Organization for the purpose of forming a Utah Limited Liability Company.

Article I

The name of the limited liability company is to be American Supports One, LLC

Article II

The purpose or purposes for which the company is organized is to engage in:
Support services for disabled adults. Day Programming centered on Personal Support Plans established through support services, case workers, ASO and and behavioral specialists.

The Company shall further have unlimited power to engage in or to perform any and all lawful acts pertaining to the management of any lawful business as well as to engage in and to do any lawful act concerning any and all lawful business for which a Limited Liability Company may be organized under the Utah Limited Liability Company Act and any amendments thereto.

Article III

The Company shall continuously maintain an agent in the State of Utah for service of process who is an individual residing in said state. The name and address of the initial registered agent shall be:

(Registered Agent Name & Address)
Sarah K Norton
1247 East Main
Wellington, UT, 84542



State of Utah

Department of Commerce

Division of Corporations & Commercial Code

athy Berg

This certifies that this registration has been filed and approved on 30, August 2016 in the office of the Division and hereby issues this Certification thereof.

KATHY BERG Division Director



PRICE CITY POLICE DEPARTMENT

910 NORTH 700 EAST PRICE, UTAH 84501 (435) 636-3190

CONSENT TO A BACKGROUND/CRIMINAL HISTORY CHECK

I hereby consent to a background security and criminal history check to be performed by Price City Police Department in connection with my business license application.

Dated this	911	day ofAugust	, 2016
		Signature	
		Sarah Hulton	
		(Please Print Name)	

UT USA UTAh DRIVER LICENSE

44 175588977 NORTON 2 SARAH KATHRYN

3 DOB 10/28/1991 E 81247 E MAIN ST WELLINGTON, UT 84542 32 5 DD 1 2 Class D 9a End

4b Exp 10/28/2017

4a lss 10/26/2012

12 Restrictions A
DONOR N 16 Hgt 5'06" 18 Eyes BEK
15 Sex F 17 Wgt 120 19 Hair BRO

ZONING D	ISTRICTS APPLICABILITY	C1	M1	M2
11.3.5.24	Laundering, dry cleaning, and dyeing services	C	P	P
11.3.5.25	Medical clinics – outpatient services	C	-	-
11.3.5.26	Medical laboratory services	C	P	P
11.3.5.27	News syndicate services	P	-	-
11.3.5.28	Painting, wall coverings and decorating services	P	P	P
11.3.5.29	Photographic services	P	С	С
11.3.5.30	Plumbing, heating and air-conditioning services	С	P	P
11.3.5.31	Private clubs including fraternal and sorority membership organizations with or without alcohol	С	-	-
11.3.5.32	Professional health and care offices and clinics – Medical offices, Dentist offices	С	-	-
11.3.5.33	Real estate agents, brokers, and management services	P	-	-
11.3.5.34	Real estate operative construction builders	С	P	P
11.3.5.35	Real estate subdividing and land developing services	С	P	P
11.3.5.35.5	Recycling Operations (not vending machine based inside of other establishments)	С	С	С
11.3.5.36	Roofing and sheet metal services	С	P	P
11.3.5.36.5	Salon Businesses. May include barber and beauty, massage, therapy, tanning, limited related services training, etc.	P	Р	P
11.3.5.37	Security services and commodity brokers, dealers, exchanges and services	P	-	-
11.3.5.38	Schools (commercial)	С	-	-
11.3.5.39	Sexually oriented business when complying with the sexually oriented business ordinance	-	С	С
11.3.5.40	Skin art, tattooing, piercing, body alteration. No drug paraphernalia, no sexual items or services. Must be ½ mile from other similar existing land use.	С	С	С
11.3.5,41	Public, private, or quasi public social services administration and activity	С	С	С
11.3.6	ENTERTAINMENT			
11.3.6.1	Drive-in theaters	С	С	-
11.3.6.2	Legitimate theaters	С	,-	-
11.3.6.3	Motion picture theaters	С	-	
11.3.6.4	Race tracks (commercial)	С	С	C
11.3.6.5	Sports activities facilities	С	С	С

ZONING DI	STRICTS APPLICABILITY	C 1	M1	M2
11.3.9.13	Mining	Avenue a Marca e		
11.3.9.13.1	Chemical and fertilizers (mineral) mining	-	-	С
11.3.9.13.2	Coal mining	-	-	С
11.3.9.13.3	Crude petroleum and natural gas. Well drilling is a temporary use, 6 months or less. Well operation is a permanent use. Must be 600 feet or more from any residential land use.	+	С	С
11.3.9.13.4	Dimension stone	-	-	С
11.3.9.13.5	Land excavations	С	С	С
11.3.9.13.6	Metal ore mining	-	-	С
11.3.9.13.7	Sand and gravel – quarrying	-	-	C
11.3.9.13.8	Other mining and quarrying of nonmetallic minerals (except fuels)	-	-	С
11.3.9.14	Outdoor Storage			
11.3.9.14.1	Auto wrecking yards	-	-	С
11.3.9.14.2	Outdoor storage (non-auto)	-	С	C
11.3.9.14.3	Petroleum products bulk plants	-	С	С
11.3.10	INSTITUTIONAL			
11.3.10.1	Health services			
11.3.10.1.1	Hospital services	С	С	С
10.3.10.1.2	Nursing Home	С	-	-
10.3.10.1.3	Rehabilitation/Treatment Facility	С	-	-
11.3.10.1.4	Sanitariums, convalescent centers and facilities	С	-	-
11.3.10.1.5	Retirement Home	С	-	-
11.3.10.1.6	Sheltered Workshop	С	С	С
11.3.10.2	Government services			
11.3.10.2.1	Correctional institutions	С	С	С
11.3.10.2.2	Executive, legislative and judicial functions	С	С	С
11.3.10.2.3	Postal services	С	С	С
11.3.10.2.4	Protective functions and their related activities	С	С	С
11.3.10.3	Educational services			
11.3.10.3.1	Special training and schooling	C	С	С
11.3.10.3.1.5	Public or Private School – K to 12	С	С	С
11.3.10.3.1.6	Public or Private School - Higher Education (College &	C	С	С

ZONING D	DISTRICTS APPLICABILITY	C1	M1	M2
	University)			
11.3.10.3.2	Trade or Vocational School	C	С	С
11.3.10.4	Religious and welfare services			
11.3.10.4.1	Churches, synagogues, and temples, chapels, etc.	C	С	С
11.3.10.4.2	Welfare and charitable services	C	С	С
11.3.10.5	Public and quasi-public		1	<u> </u>
11.3.10.5.1	Art galleries	P	-	-
11.3.10.5.2	Fairgrounds	С	С	С
11.3.10.5.3	Libraries	P	С	С
11.3.10.5.4	Museums	P	-	-
11.3.10.5.5	Nature exhibitions	С	-	-
11.3.10.5.6	Public assembly, misc. purposes	C	С	-
11.3.10.5.7	Public information centers	P	-	-
11.3.10.6	Entertainment, recreation and open space group or organiz	zed camps		L
11.3.10.6.1	Gymnasiums and athletic clubs	С	С	С
11.3.10.6.2	Parks – general recreation	P	-	-
11.3.10.6.3	Parks – leisure and ornamental	P	P	-
11.3.10.6.4	Playgrounds	С	-	-
11.3.10.6.5	Play lots or tot lots	С	-	-
11.3.10.6.6	Recreation centers (general)	С	С	С
11.3.10.6.7	Swimming pools	С	С	С
11.3.10.7	Streets and other circulation elements			
11.3.10.7.1	Airports	-	С	С
11.3.10.7.2	Alleys – maintenance of alleys is the responsibility of the adjoining, fronting or abutting property owner(s)	С	С	С
11.3.10.7.3	Freeways	С	С	С
11.3.10.7.4	Streets, public	С	С	С
11.3.10.7.5	Streets, private	С	С	С
11.3.10.7.6	Railroads and appurtenances	С	С	С
11.3.11	LAND DEVELOPMENTS			
11.3.11.1	Subdivisions	С	С	С
11.3.11.2	Planned unit developments	С	С	С
			-	•



P. O. Box 893 Price, Utah 84501

To: AMERICAN SUPPORTS ONE, LLC PO BOX 991 WELLINGTON UT 84542

2016 Price City Business License

Type of Business: GENERAL BUSINESS LICENSE

Name: SARAH NORTON

Location: **214 EAST 100 NORTH**

3223 License No:

09/06/2016 Date Issued:

09/06/2016 License Period:

12/31/2016

Fee: 150.00

NOTICE: THIS LICENSE MUST BE POSTED IN A CONSPICUOUS PLACE

The below named person or firm is hereby granted a license to do business as stated below in Price City, Utah, subject to provisions of the Business Licensing Code of Price City, 2007 and subsequent amendments relating to business license for the period indicated.

Recorder, Sherrie Gordon

THIS LICENSE IS NON TRANSFERABLE PLEASE POST LICENSE IN A LOCATION VISIBLE TO THE PUBLIC





P. O. Box 893 Price, Utah 84501

To:

AMERICAN SUPPORTS ONE, LLC PO BOX 991 WELLINGTON UT 84542

2016 Price City Business License

Type of Business: GENERAL BUSINESS LICENSE

Name: SARAH NORTON

Location: **214 EAST 100 NORTH**

3223 License No:

09/06/2016 Date Issued: 09/06/2016 **License Period:**

12/31/2016

150.00 Fee:



NOTICE: THIS LICENSE MUST BE POSTED IN A CONSPICUOUS PLACE

The below named person or firm is hereby granted a license to do business as stated below in Price City, Utah, subject to provisions of the Business Licensing Code of Price City, 2007 and subsequent amendments relating to business license for the period indicated.

City Recorder, Sherrie Gordon

THIS LICENSE IS NON TRANSFERABLE PLEASE POST LICENSE IN A LOCATION VISIBLE TO THE PUBLIC



PRICE MUNICIPAL CORPORATION
185 EAST MAIN STREET
P. O. BOX 893
PRICE UT 84501 637-5010
Receipt No: 5.136959 Sep 6, 2016

AMERICAN SUPPORTS ONE

Previous Balance: .00
LICENSE PERMIT FEES
A/R - BUSINESS LIC. 150.00

Total: 150.00

CASH 150.00
Change Tendered: .00

Change Tendered: .00

PRICE MUNICIPAL CORPORATION 185 EAST MAIN STREET P. O. BOX 893 PRICE UT 84501	637-5010
Receipt No: 5.137164	Sep 8, 2016
SARAH NORTON	
Previous Balance: LICENSE PERMIT FEES CUP FFF	.00
Total:	190.00
CASH Total Applied:	100.00
Change Tendered:	.00
09/07/2016 03:00PM	

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR LOCATING OF A DAY PROGRAM SUPPORT BUSINESS FOR DISABLED ADULTS AT 214 EAST 100 NORTH WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

<u>Purpose</u>: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and SARAH NORTON, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with <u>AMERICA SUPPORTS ONE</u>, <u>LLC.</u>, <u>SARAH NORTON</u>.

<u>Parties</u>: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and SARAH NORTON, (Applicant), for the property located at 214 E 100 N.

<u>Term</u>: the term of this agreement commences on <u>September 26th</u>, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- No parking or storage of commercial vehicles, equipment, trailers at site or on-street finding that restricted parking and storage mitigates the potential for vehicle or pedestrian accidents.
- All garbage, rubbish and debris to be deposited in a qualified garbage dumpster or canister and serviced at a
 frequency to prevent accumulations of garbage, rubbish and debris or wind scatter of garbage, rubbish and debris
 finding that contained garbage, rubbish and debris is consistent with the Price City General Plan.
- Procurement of a building permit for any building modifications/renovations finding that properly permitted and inspected commercial building modifications/renovations protect the health, safety and welfare of the community.
- Inspection of the location by the Price City Building Inspector and Price City Fire Chief for safety and compliance with all recommendations stemming from the inspections finding that inspected structures protect the health, safety and welfare of the community.
- Submission and review of all business signage prior to installation to the Price City Planning Department finding that properly reviewed and approved commercial signage is consistent with the Price City General Plan.
- Procurement of a Price City Business license finding that all businesses must have current Price City Business Licenses to operate legally within Price City.
- No land use activity at the location not specifically approved herein finding that additional business activities or land uses may require additional conditional use permitting.
- No condition at the property or structure that violation the Price City Property Maintenance Code finding that
 properly maintained properties and structures protect area property values and is consistent with the Price City
 General Plan.

Price City Shall:

 Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS, DAY OF,	20	
Price City	Applicant:	
By Robert Oliver, Chair	SASRAH NORTON	
ATTEST:		
Sherrie Gordon, City Recorder		

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

A LAND USE OF: A DAY-SERVICES
PROGRAM FOR DISABLED ADULTS
LOCATED AT 214 E 100 N, WITHIN THE
COMMERCIAL 1 (C-1)ZONING DISTRICT

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT CODE.



SIGNATURE

Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director

Community Director NICK TATTON City Recorder SHERRIE GORDON Public Works Director

GARY SONNTAG



185 EAST MAIN ● P.O. BOX 893 ● PRICE, UT 84501 PHONE (435) 637-5010 ● FAX (435) 637-2905 www.pricecityutah.com

www.pricecityutah.com

Planning & Zoning

ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY

RICHARD ROOT

JAN YOUNG

ALTERNATE: ERROLL HOLT

Price City Planning & Zoning Commission

DATE: AUGUST 23, 2016

TO: PRICE CITY PLANNING & ZONING COMMISSION

FROM: NICK TATTON, PRICE CITY

RE: CUP - SODA BUSINESS

Please find attached a Conditional Use Permit (CUP) application submitted by Chad Carlson, 100 North, LLC., for a business called Sodalicious to be located at 97 E 100 N within the Commercial 1 (C-1) zoning district. The general evaluation criteria for the land use is in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code. The applicable land uses are: (1) Candy, nuts, confectionary, Code Section 11.3.4.4, a permitted use in the C-1 zoning district; (2) Drive In Restaurants, Code Section 11.3.4.12, a conditional use in the C-1 zoning district; and, (3) Eating Places-Food Consumed on Premises, Code Section 11.3.4.14, a conditional use in the C-1 zoning district.

It is the recommendation of staff to discuss the land use and development schedule with the application in sufficient detail to recommend final approval of the land use to the Price City Council. Recommended items to discuss with the applicant include: business signage and way-finding signage; parking lot re-orientation and restriping, and restrictions on prepared food (no hood or grease trap).

RECOMMENDED MOTION(S):

1. Move to recommend the Price City Council provides final approval for the land use of soda restaurant based on the Conditional Use Permit (CUP) application submitted by Chad Carlson, 100 North, LLC., for a business called Sodalicious to be located at 97 E 100 N within the Commercial 1 (C-1) zoning district, based upon the general evaluation criteria for the land use in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, the land uses of: (1) Candy, nuts, confectionary, Code Section 11.3.4.4, a permitted use in the C-1 zoning district; (2) Drive In Restaurants, Code Section 11.3.4.12, a conditional use in the C-1 zoning district; and, (3) Eating Places-Food Consumed on Premises, Code Section 11.3.4.14, a conditional use in the C-1 zoning district, and subject to the following conditions of approval:

- a. Removal of not more than four (4) parking spaces from the overall site to accommodate the drive-up window finding that changes in the business mix at the overall site have reduced the parking need by four (4) parking spaces.
 - i. Restriping of parking lot to clearly identify drive-up lane and all parking required.
- b. Placement of reflective indicators on utility pole adjacent to identified business ingress point to mitigate potential vehicle/pole collisions finding that the ingress is narrow and the utility pole is very close to the ingress.
 - i. Coordinate the enclosure or other treatment of the gap in the gutter overshot immediately to the west of the ingress with the Price City Public Works Department to prevent accident or injury.
- c. Submission of business and way-finding signage to the Price City Planning Department prior to installation for consideration, review and potential approval finding that properly reviewed and approved signage increased commercial activity in the community.
- d. No food prep on-site that requires cooking or grease finding that no commercial kitchen equipment is in place including a grease/smoke hood and no waste water grease trap or sampling manhole is present to protect the waste water system.
- e. Garbage dumpster to be maintained in an enclosed area and serviced at a frequency to prevent nuisance odors in the area finding that prevention of accumulations of garbage and odors is in the best interest of the community.
- f. Maintain or increase the existing minimum five percent (5%) landscaping at the overall site finding that properly landscaped commercial businesses and corridors improves the community aesthetic and is consistent with the goals in the Price City General Plan.
- g. Completion and submission of a Price River Water Improvement District (PRWID) waste water survey finding that properly understood waste water discharges mitigate negative impacts to the waste water collection system.
- h. All renovations and construction work at the business location to be completed under the auspices of a Price City Building Permit and building inspection finding that properly permitted and inspected building alterations protect the health, safety and welfare of the community.
- Procurement of a Price City Business License prior to business operation finding that properly licensed business increase the commercial activity in the community.
- j. No conditions at the property or structure that violate the Price City Property Maintenance Code finding that properly maintained properties and structures protect area property values and is consistent with the Price City General Plan.
- 2. Move to acknowledge that the applicant, applicant's agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee:					
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CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

New Construction/Develo	boxes 1 through 13 on page 1, opment (Check all applicable b			
PLEASE TYPE OR PRINT LE	JV35	t Information	And the Control of th	
Applicant's Name: (XX)	locate ue Che	ad Carlson 2. Title	e: OWNER	
3. Applicant's Mailing Address Sox 803	ess: Sprinhalle ut	BU663	4. Suite/Apt. No.:	
5. City:	6. State:	T	7. Zio Code: SU663	
8. County:		9. Telephone: (4	35) 650-1131	
	Project	Information		
10. Name of Project (Busin	ess): Sopulcious	>		
11. Address of Proposed P	roject: 97 E. Io	o No. PR	405	
12. Zone District (see attac	hed zoning map):			
Nature of P	roposed Work (Check all a	applicable items in l	boxes 13 through 16)	
13. Sign Commercial Residential	14. Zone Change Storm Drainage Street Work Road Dedication Water Sewer	15. Excavation Fill Work Building Subdivision Apartments Electrical	16. Industrial Annexation Flood Plain Recreation Street Opening Demolition	
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Bas	e :
21. Estimated Cost of Project a) Site Work b) Buildings c) Other Total \$ 10,00	(Attach prelimina application)		23. Project Plans: Plans Included Attachments (Number)	

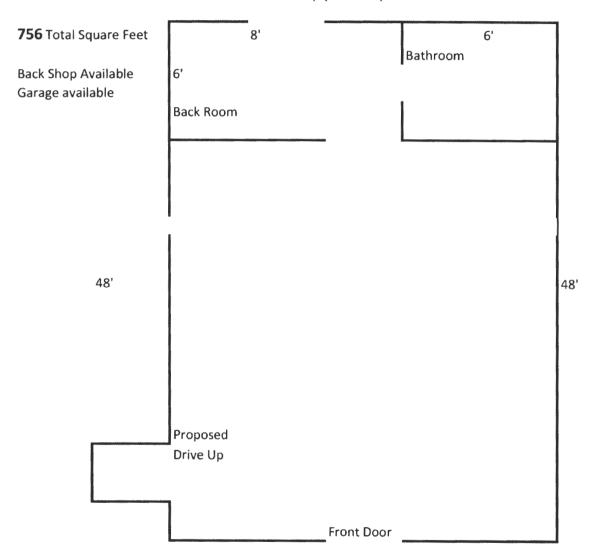
24. Brief Description of Project:		
SYDMICIONS	SEUS FLANDED SO	on & Coduses
4 . 4	A DRIVE UP WINDOW	
	LENDY IN PLACE MO	
	andrymat	
25. Justification (Explain why this pro		acious, Com
For profit	- Line	42,003,001
TOP PROFIT		
26. Names and Addresses of Adjoin	ing Property Owners, Lessees, Etc.:	
NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1.01 1 0 1	PO BUX 807	(435)650 1131
(had Corkson	Speinbulle, ut 8463	·
Chad Corkson 2. Bys		()
A18 holdings		
3.		()
27. Estimated Starting Date:	28. Estimated Completion Date:	29. Has P.R.W.I.D. Sewer Survey Been Submitted? Yes X No
11h 101n	plan W	
Signature of Property Owner	Date	•
Chad Carlson	a country	
Please Print Name	Title	
TESTEMPORE PROPERTY	Office Use Only	
Recommendation of Planning and Zon Approve	ing Administrator (Community Director):	
Decline Comments:		
		we seek to the time
Signature:	Date	9:
Requires:		
Building Permit Conditional Use Permit		
Code Amendment Board of Adjustments Variance		
Flood Plain Development Permit Other:		
LI Outer.		

SITE PLAN

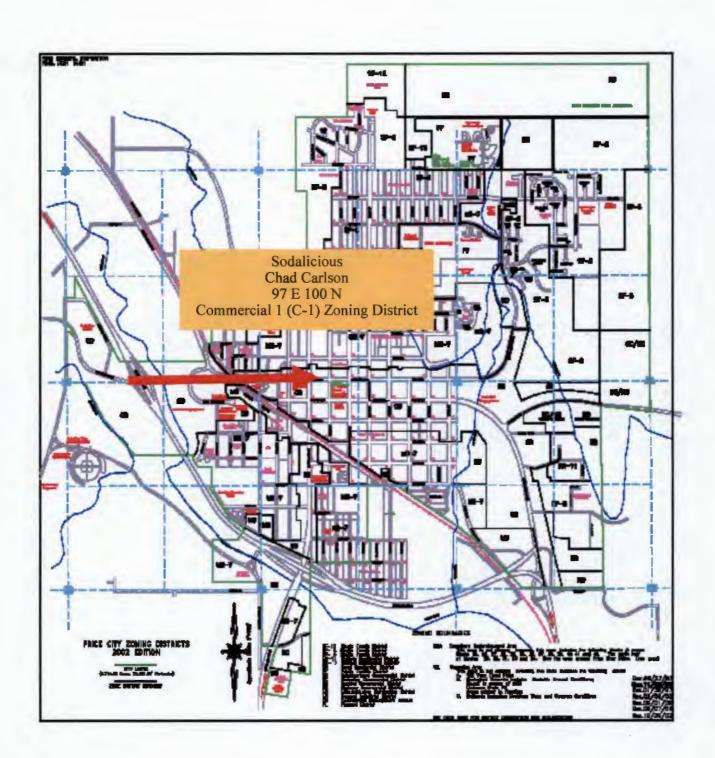
Please provide a drawing of your proposed site in the space below. Include building floor plan, profiles, cross-sections, dimensions, setbacks, and signs. Also indicate exits, restrooms, and fire extinguisher placement. Use an attached sheet of paper, if necessary.



Out to Shop (available)







ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR PLACEMENT OF A SODA BUSINESS WITH DRIVE UP WINDOW CALLED SODALICIOUS AT 97 EAST 100 NORTH WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and CHAD CARLSON, SODALICIOUS, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with

<u>Purpose</u>: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and CHAD CARLSON, SODALICIOUS.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and CHAD CARLSON, (Applicant), for the property located at: 97 EAST 100 NORTH.

Term: the term of this agreement commences on SEPTEMBER 12TH, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Remove not more than four (4) parking spaces from the overall site to accommodate the drive-up window finding that
 changes in the business mix at the overall site have reduced the parking need by four (4) parking spaces.
 - o Restriping of parking lot to clearly identify drive-up lane and all parking required.
- Placement of reflective indicators on utility pole adjacent to identified business ingress point to mitigate potential vehicle/pole collisions finding that the ingress is narrow and the utility pole is very close to the ingress.
 - Coordinate the enclosure or other treatment of the gap immediately to the west of the ingress in the gutter overshot with the Price City Public Works Department to prevent accident or injury.
- Submission of business and way-finding signage to the Price City Planning Department prior to installation for potential
 approval finding that properly reviewed and approved signage increased commercial activity in the community.
- No food prep on-site that requires cooking or grease finding that no commercial kitchen equipment is in place including a
 grease/smoke hood and no waste water grease trap or sampling manhole is present to protect the waste water system.
- Garbage dumpster to be maintained in an enclosed area and serviced at a frequency to prevent nuisance odors in the area finding that prevention of accumulations of garbage and odors is in the best interest of the community.
- Maintain or increase the existing minimum five percent (5%) landscaping at the overall site finding that properly landscaped commercial businesses and corridors improves the community aesthetic and is consistent with the goals in the Price City General Plan.
- Complete and submit a Price River Water Improvement District (PRWID) waste water survey finding that properly
 understood waste water discharges mitigate negative impacts to the waste water collection system.
- All renovations and construction work at the business location to be completed under the auspices of a Price City Building
 Permit and building inspection finding that properly permitted and inspected building alterations protect the health, safety
 and welfare of the community.
- Procurement of a Price City Business License prior to business operation finding that properly licensed business increase the commercial activity in the community.
- No conditions at the property or structure that violate the Price City Property Maintenance Code finding that properly
 maintained properties and structures protect area property values and is consistent with the Price City General Plan.

Price City Shall:

Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

Price City	Applicant:	
By Robert Oliver, Chair	CHAD CARLSON	
ATTEST:		

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

A LAND USE OF: A DRIVE-UP SODA BUSINESS LOCATED AT 97 EAST 100 NORTH, WITHIN THE COMMERCIAL 1 (C-1) ZONING DISTRICT

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT CODE.



SIGNATURE

DATE